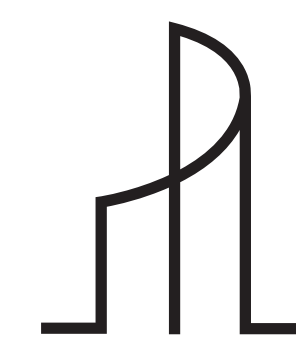


COMPASS RE

Philadelphia, PA 19125

2219-21 Emerald Street



M U V E | P H L



### PROJECT DESCRIPTION:

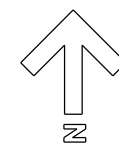
FOUR STORY DEVELOPMENT WITH 5 DWELLING UNITS AND ROOF DECKS

## RENDERINGS:

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SITE MAP:



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OWNER:  
STAMM  
DEVELOPMENT  
GROUP

1835 MARKET STREET  
SUITE 625  
PHILADELPHIA, PA 19103

STRUCTURAL ENGINEER:  
-----

STREET ADDRESS  
CITY, STATE ZIP

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PALM BEACH, FLORIDA | LICENSE # A00118716

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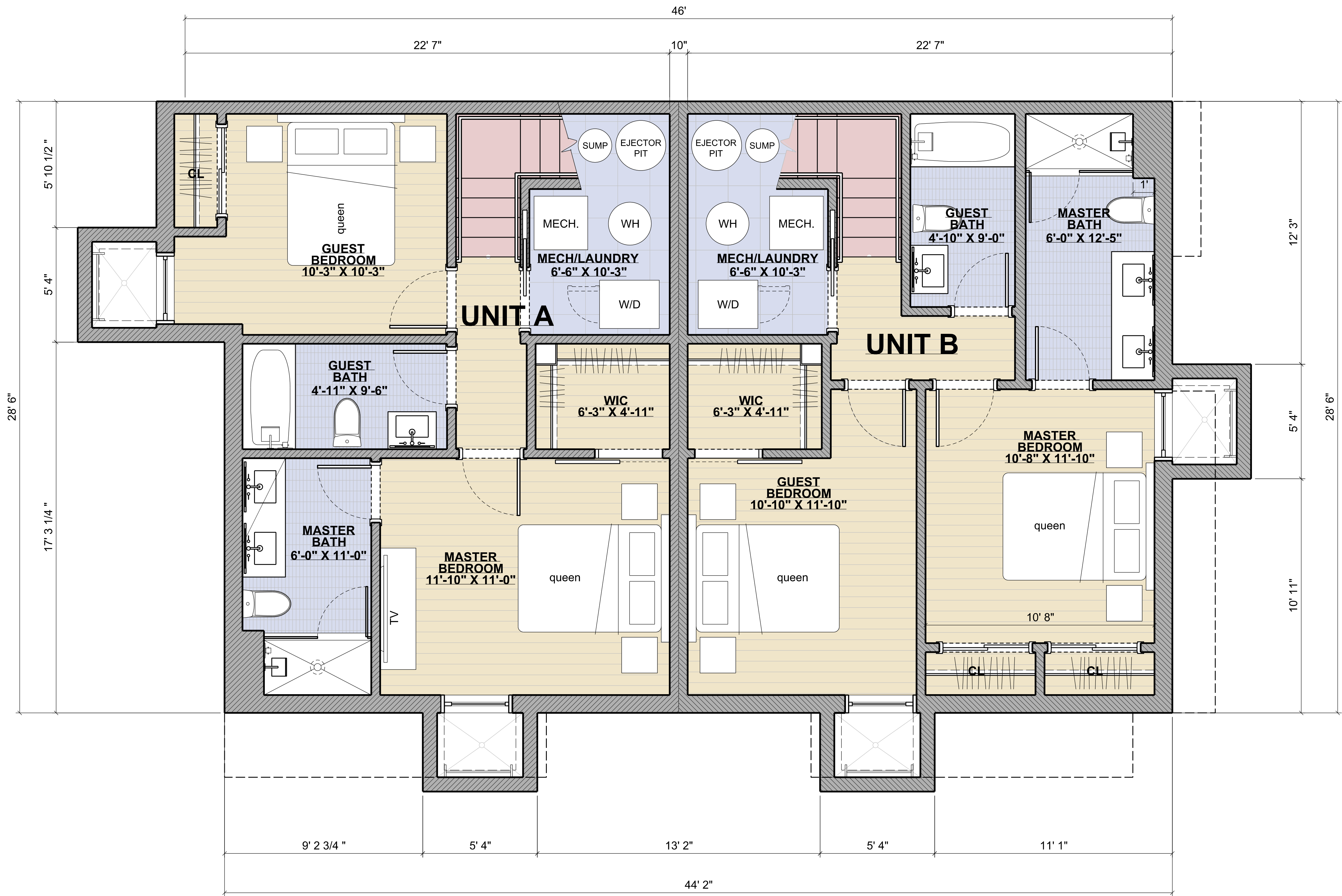
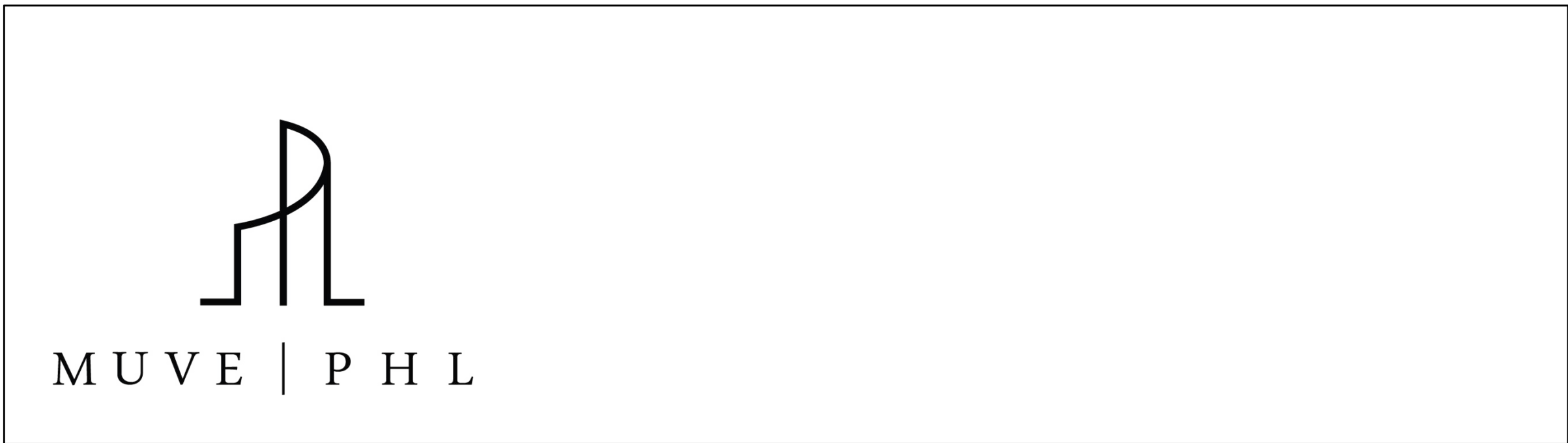
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08.06.20	

ISSUE:
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SCALE: AS NOTED

CS-1



1/A-100 PROPOSED BASEMENT FLOOR PLAN  
3/8" = 1'-0"

FLOOR PLAN LEGEND:

- EXISTING WALLS
- NEW WALLS
- NEW INTERIOR DOOR: REFER TO SHEET INT-900 FOR DOOR TYPES AND SCHEDULE
- NEW EXTERIOR DOOR: REFER TO SHEET INT-900 FOR DOOR TYPES AND SCHEDULE
- WALL TYPE
- WINDOW TYPE

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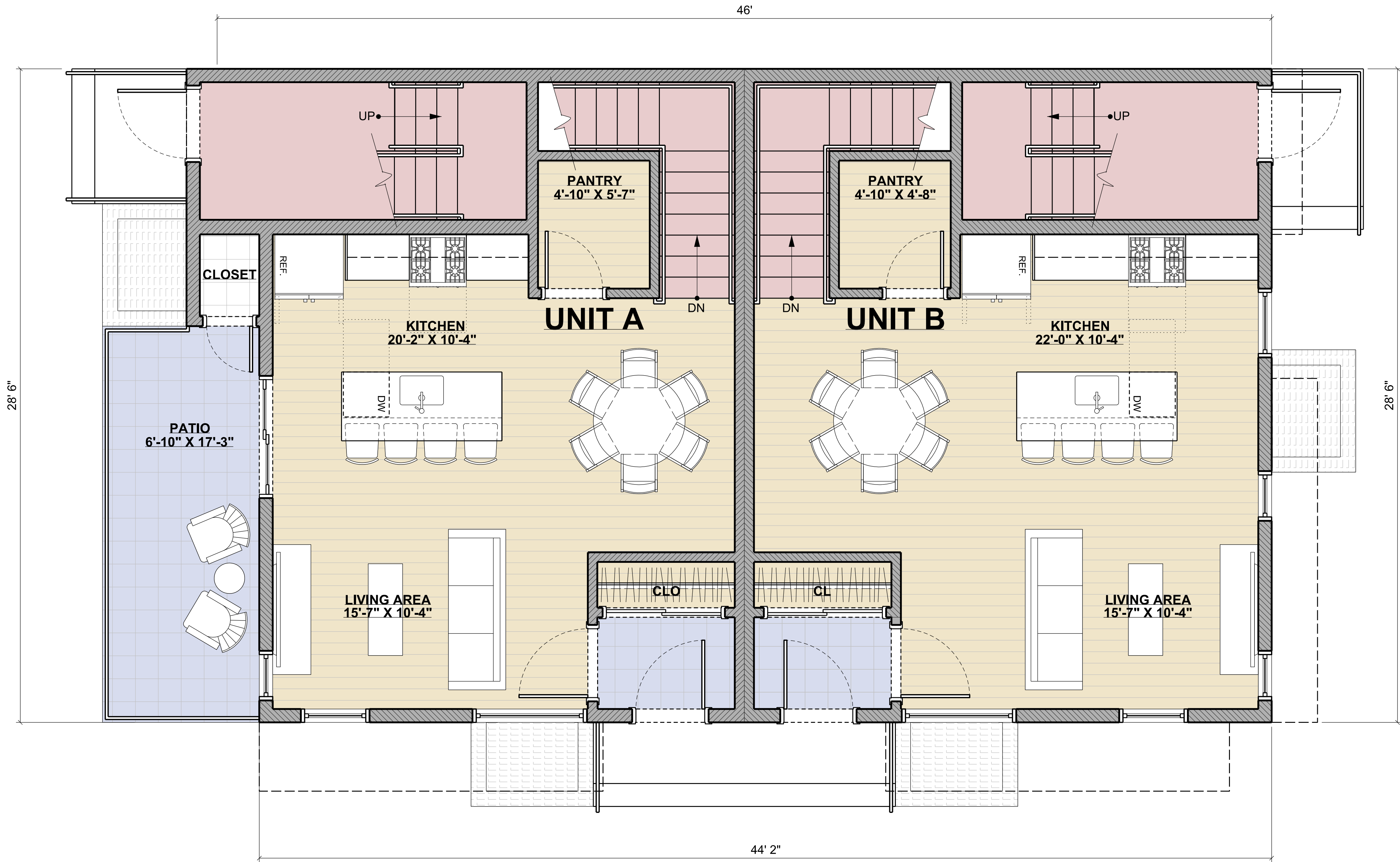
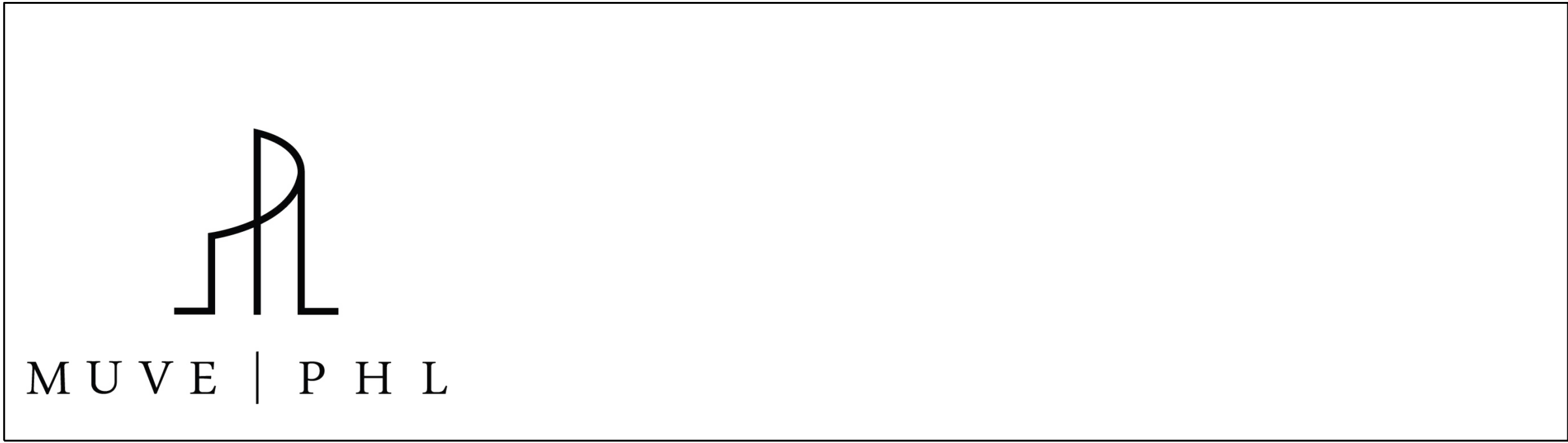
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PROPOSED  
BASEMENT  
FLOOR  
PLAN

SCALE: AS NOTED

A-100





1/A-101 PROPOSED FIRST FLOOR PLAN  
3/8" = 1'-0"

- FLOOR PLAN LEGEND:
- EXISTING WALLS
  - NEW WALLS
  - NEW INTERIOR DOOR: REFER TO SHEET INT-900 FOR DOOR TYPES AND SCHEDULE
  - NEW EXTERIOR DOOR: REFER TO SHEET INT-900 FOR DOOR TYPES AND SCHEDULE
  - WALL TYPE
  - WINDOW TYPE

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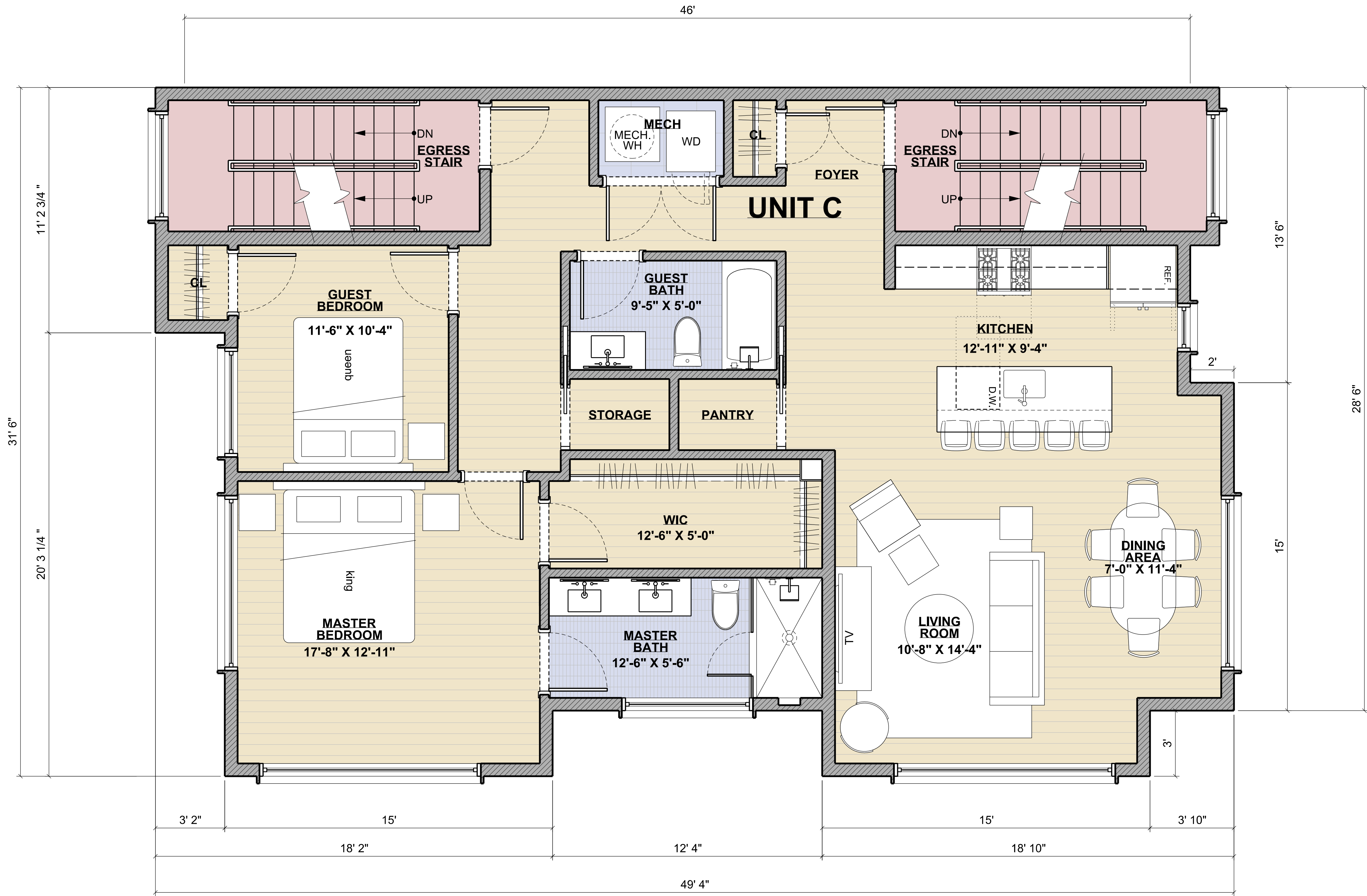
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PROPOSED  
FIRST  
FLOOR  
PLAN

SCALE: AS NOTED

A-101





1/A-102 PROPOSED SECOND FLOOR PLAN  
3/8" = 1'-0"

- FLOOR PLAN LEGEND:**
- EXISTING WALLS
  - NEW WALLS
  - NEW INTERIOR DOOR: REFER TO SHEET INT-900 FOR DOOR TYPES AND SCHEDULE
  - NEW EXTERIOR DOOR: REFER TO SHEET INT-900 FOR DOOR TYPES AND SCHEDULE
  - WALL TYPE
  - WINDOW TYPE

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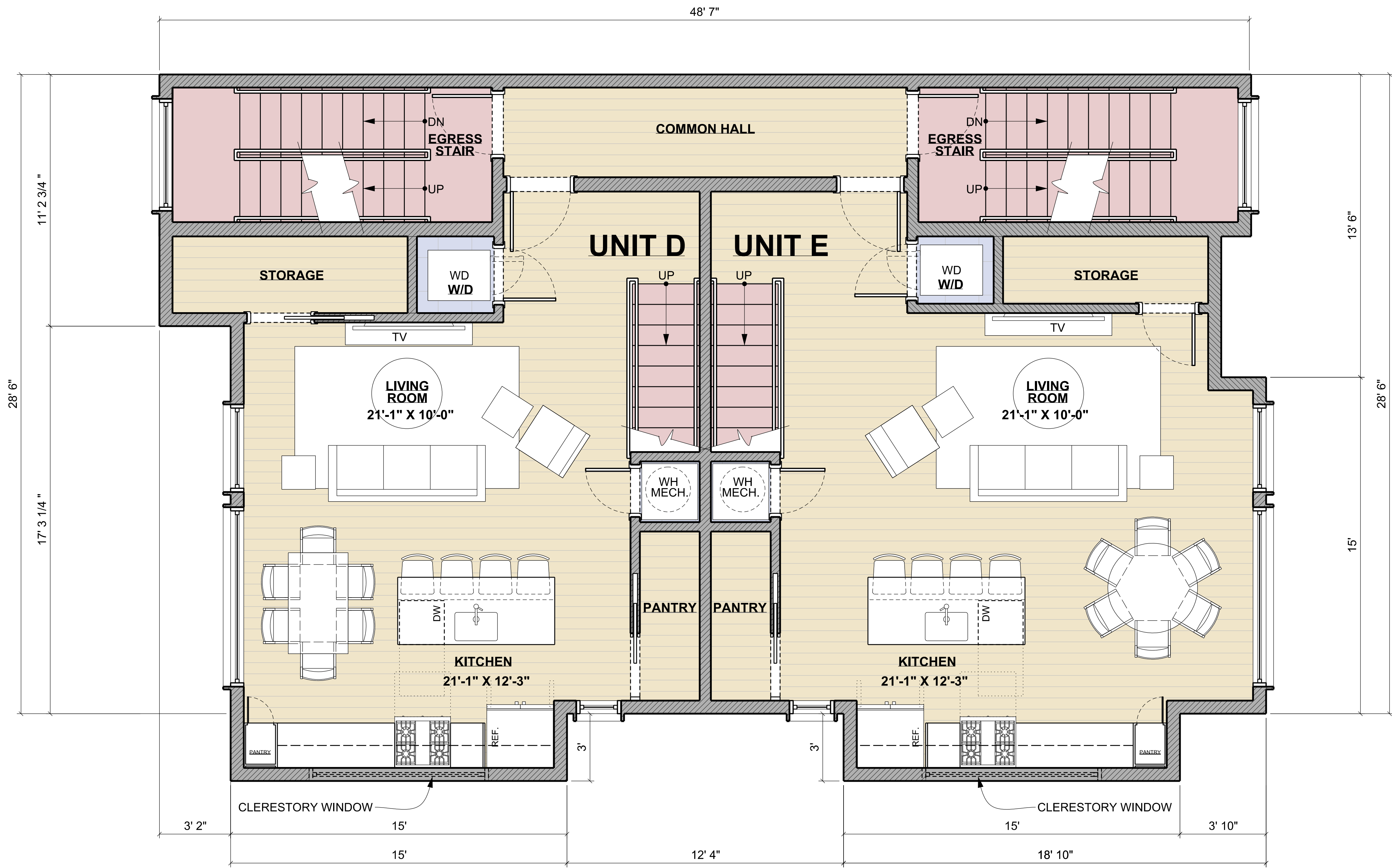
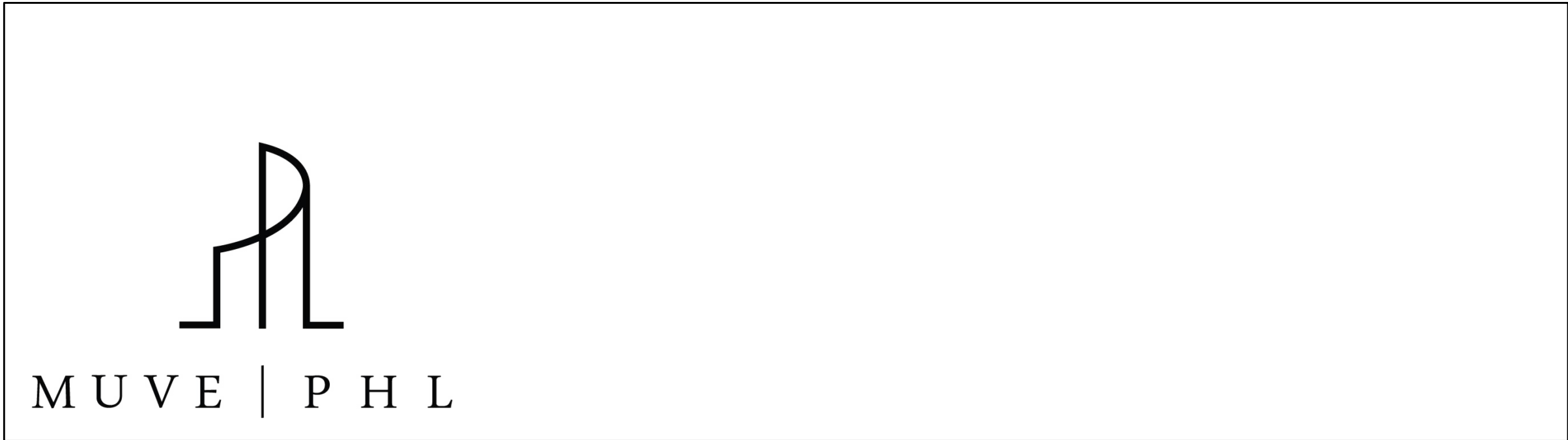
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PROPOSED  
SECOND  
FLOOR  
PLAN

SCALE: AS NOTED

A-102



1/A-103 PROPOSED THIRD FLOOR PLAN  
3/8" = 1'-0"

- FLOOR PLAN LEGEND:**
- EXISTING WALLS
  - NEW WALLS
  - NEW INTERIOR DOOR: REFER TO SHEET INT-900 FOR DOOR TYPES AND SCHEDULE
  - NEW EXTERIOR DOOR: REFER TO SHEET INT-900 FOR DOOR TYPES AND SCHEDULE
  - WALL TYPE
  - WINDOW TYPE

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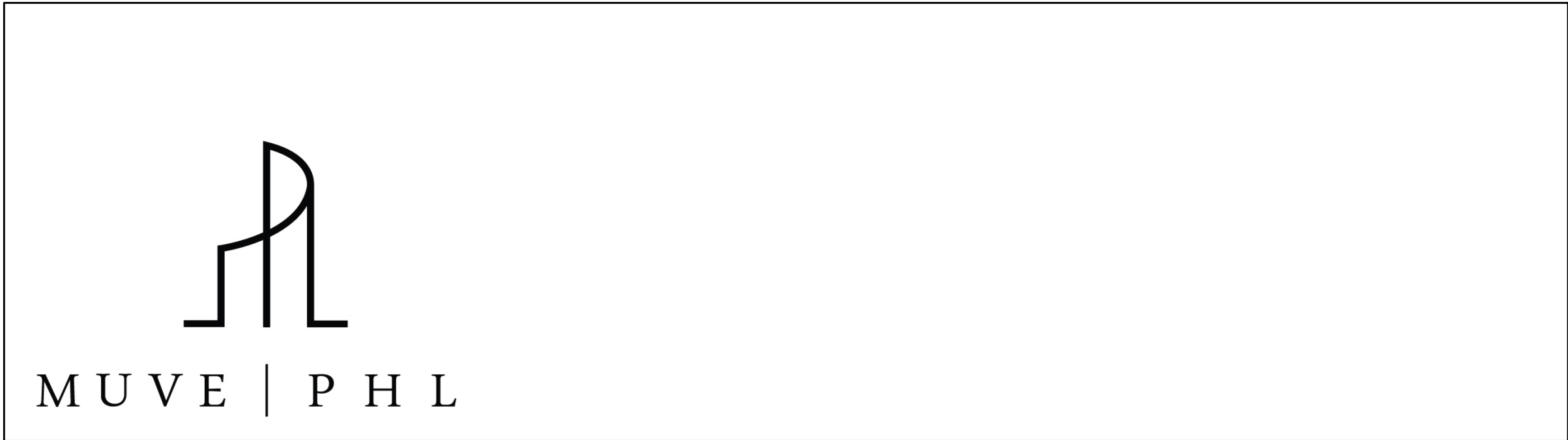
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PROPOSED  
THIRD  
FLOOR  
PLAN

SCALE: AS NOTED

A-103



1/A-104 PROPOSED FOURTH FLOOR PLAN  
3/8" = 1'-0"

**FLOOR PLAN LEGEND:**

- EXISTING WALLS
- NEW WALLS
- NEW INTERIOR DOOR: REFER TO SHEET INT-900 FOR DOOR TYPES AND SCHEDULE
- NEW EXTERIOR DOOR: REFER TO SHEET INT-900 FOR DOOR TYPES AND SCHEDULE
- WALL TYPE
- WINDOW TYPE

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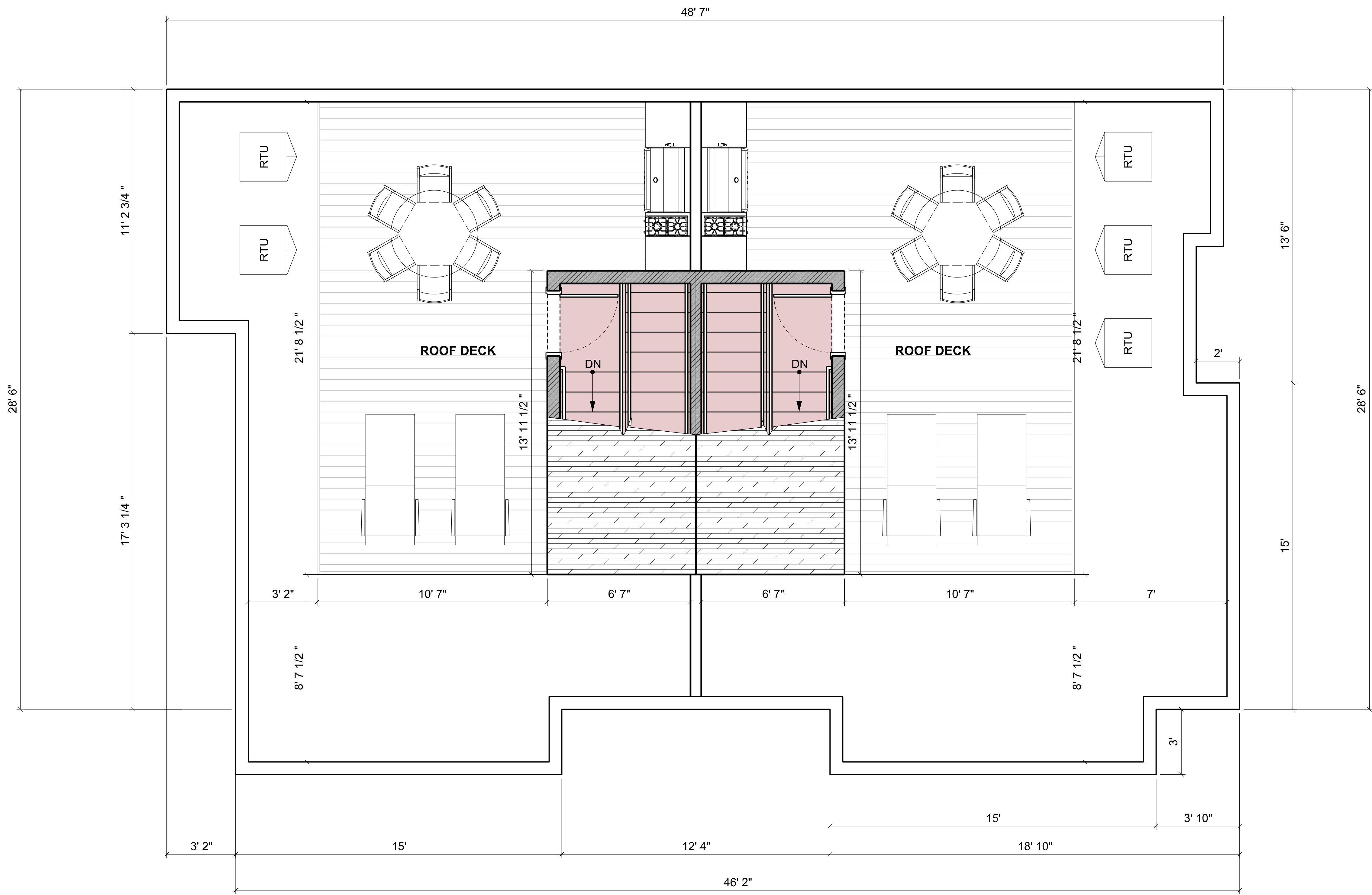
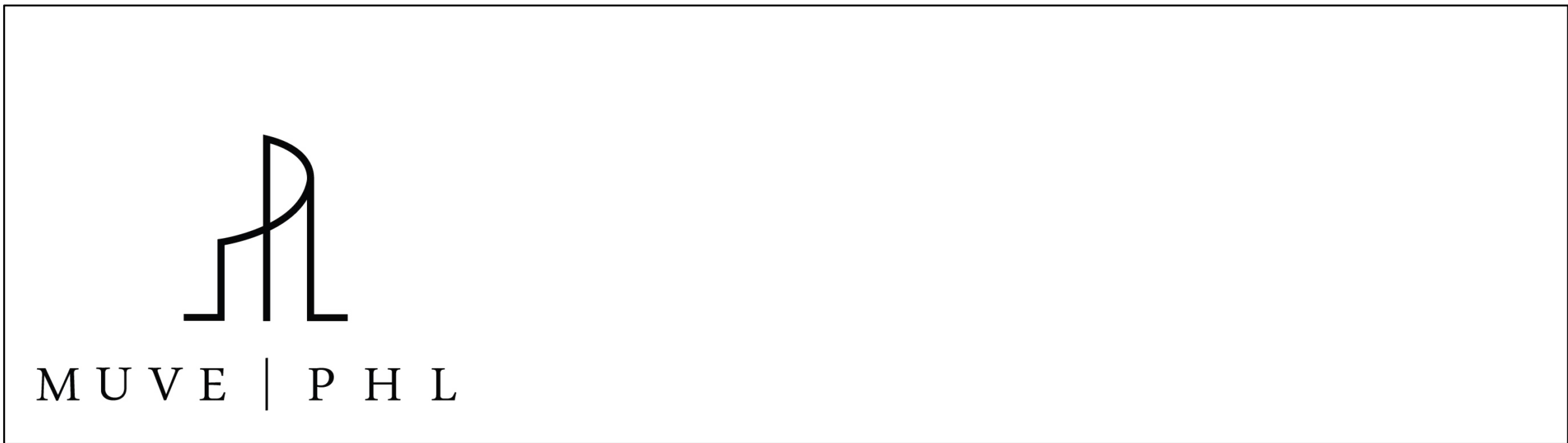
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PROPOSED FOURTH FLOOR PLAN

SCALE: AS NOTED

**A-104**





1/A-105 PROPOSED ROOF DECK PLAN  
3/8" = 1'-0"

FLOOR PLAN LEGEND:

- EXISTING WALLS
- NEW WALLS
- NEW INTERIOR DOOR: REFER TO SHEET INT-900 FOR DOOR TYPES AND SCHEDULE
- NEW EXTERIOR DOOR: REFER TO SHEET INT-900 FOR DOOR TYPES AND SCHEDULE
- WALL TYPE
- WINDOW TYPE

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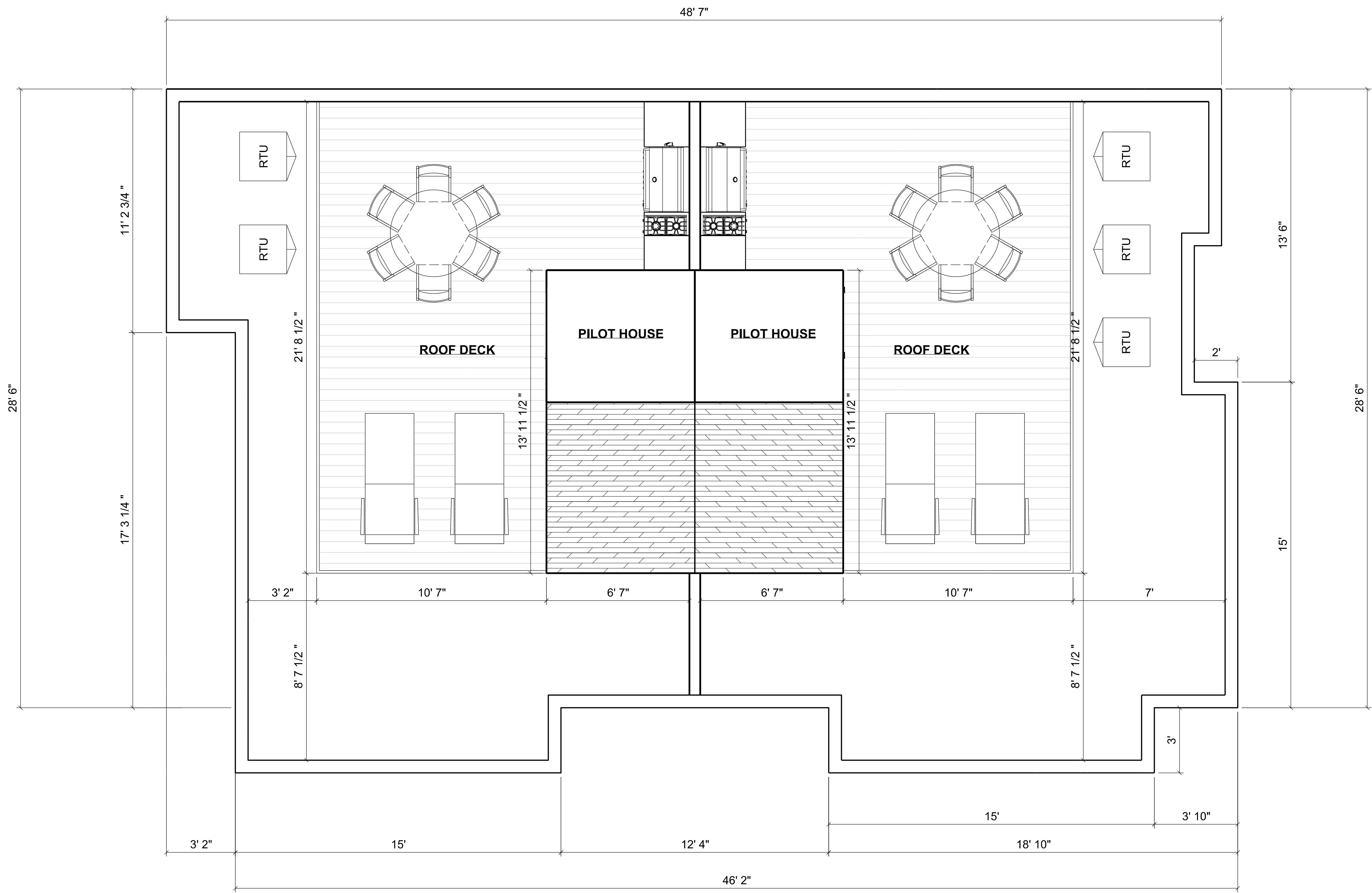
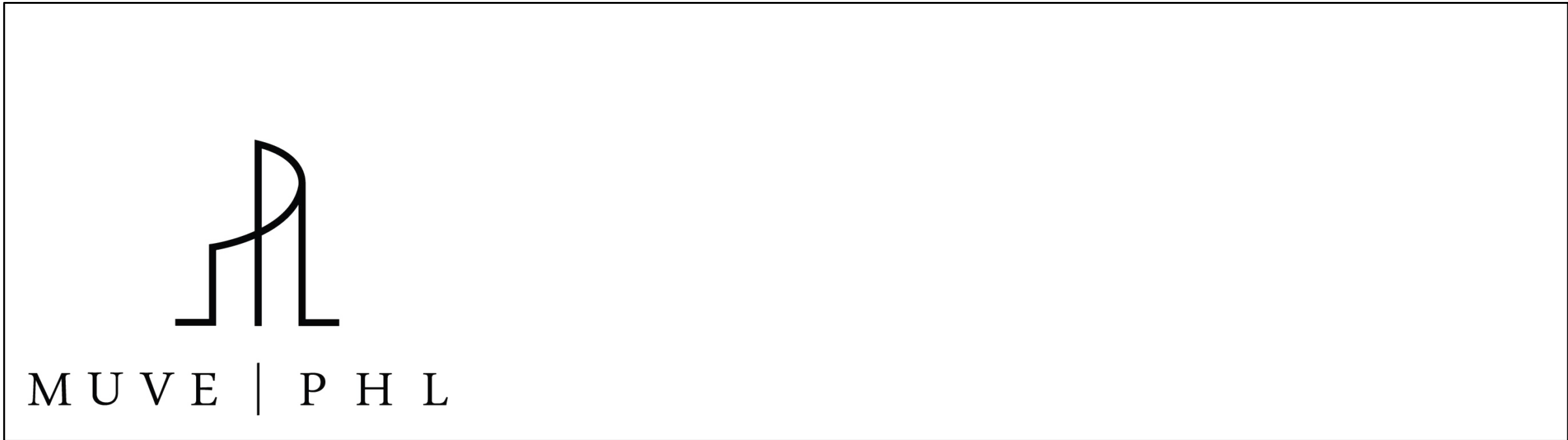
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PROPOSED  
ROOF DECK  
PLAN

SCALE: AS NOTED

A-105



1/A-106 PROPOSED ROOF PLAN  
3/8" = 1'-0"

- FLOOR PLAN LEGEND:
- EXISTING WALLS
  - NEW WALLS
  - NEW INTERIOR DOOR: REFER TO SHEET INT-900 FOR DOOR TYPES AND SCHEDULE
  - NEW EXTERIOR DOOR: REFER TO SHEET INT-900 FOR DOOR TYPES AND SCHEDULE
  - WALL TYPE
  - WINDOW TYPE



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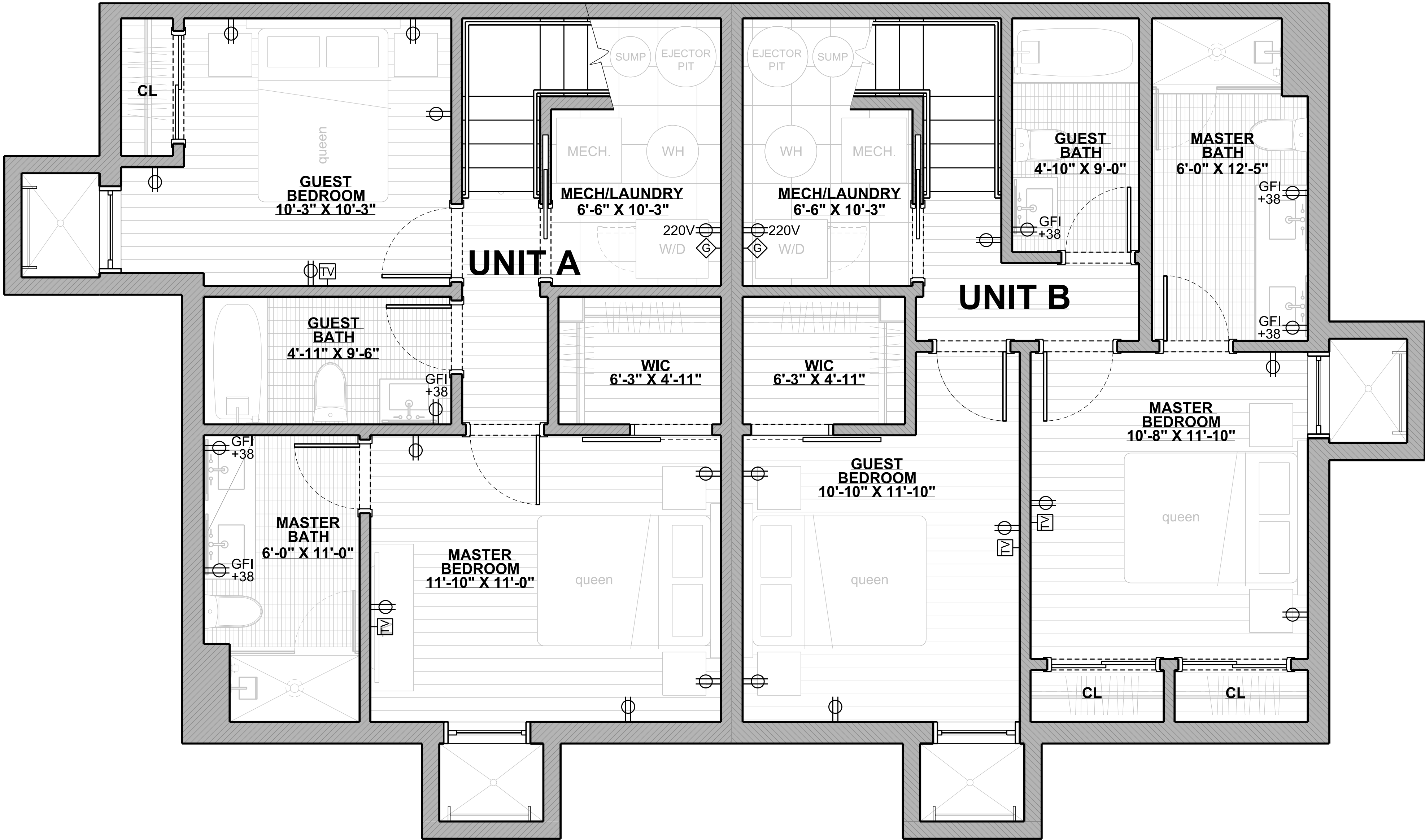
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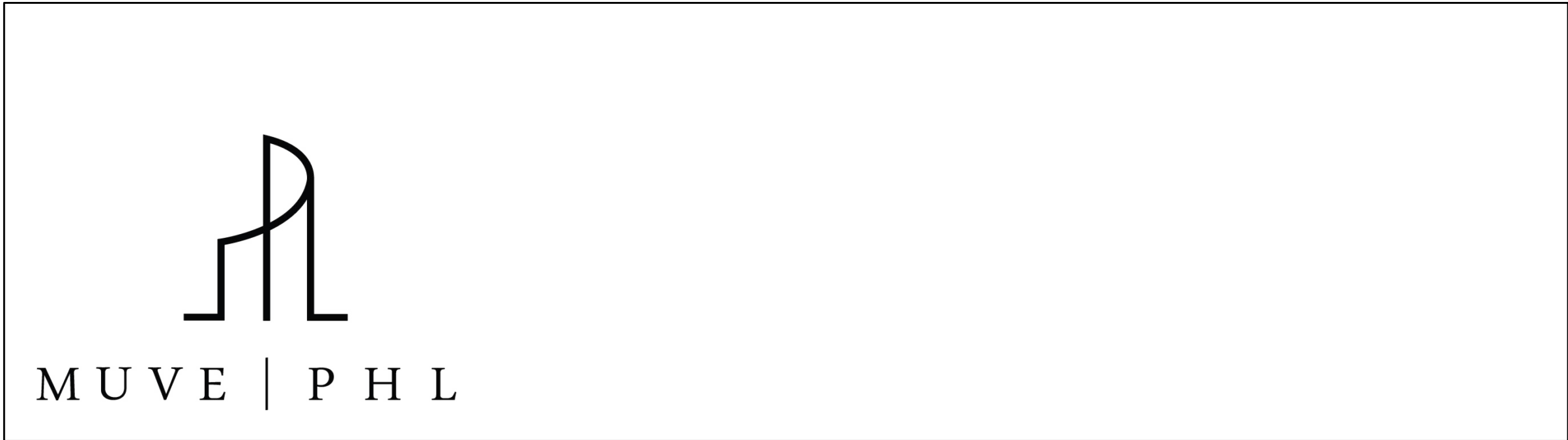
PROPOSED  
ROOF  
PLAN

SCALE: AS NOTED

A-106



1/A-130 PROPOSED BASEMENT P&D PLAN  
3/8" = 1'-0"



- POWER + DATA LEGEND:**
- DUPLEX OUTLET (+18" A.F.F. U.N.O.)
  - GFI
  - 220V  
220 VOLT OUTLET (ELECTRICAL SUBCONTRACTOR TO VERIFY REQUIRED LOCATIONS FOR 240V OUTLETS)
  - DEDICATED OUTLET
  - RECESSED MEDIA PLATE LOCATION: ELECTRICAL SUBCONTRACTOR TO PROVIDE DUPLEX AND A/V HOOKUP; VERIFY MOUNTING HEIGHT WITH OWNER PRIOR TO INSTALLATION
  - TELE/DATA
  - GAS HOOKUP LOCATION

**GENERAL NOTES:**

- ELECTRICAL CONTRACTOR TO COORDINATE FINAL LOCATION OF POWER AND DATA CONNECTIONS WITH OWNERS PRIOR TO INSTALLATION
- G.C. TO PROVIDE BLOCKING FOR WALL MOUNTED TV'S AND OTHER AREAS WHERE REQUIRED
- G.C. TO COORDINATE WITH ALL ELECTRICAL APPLIANCES + EQUIPMENT PRIOR TO INSTALLATION

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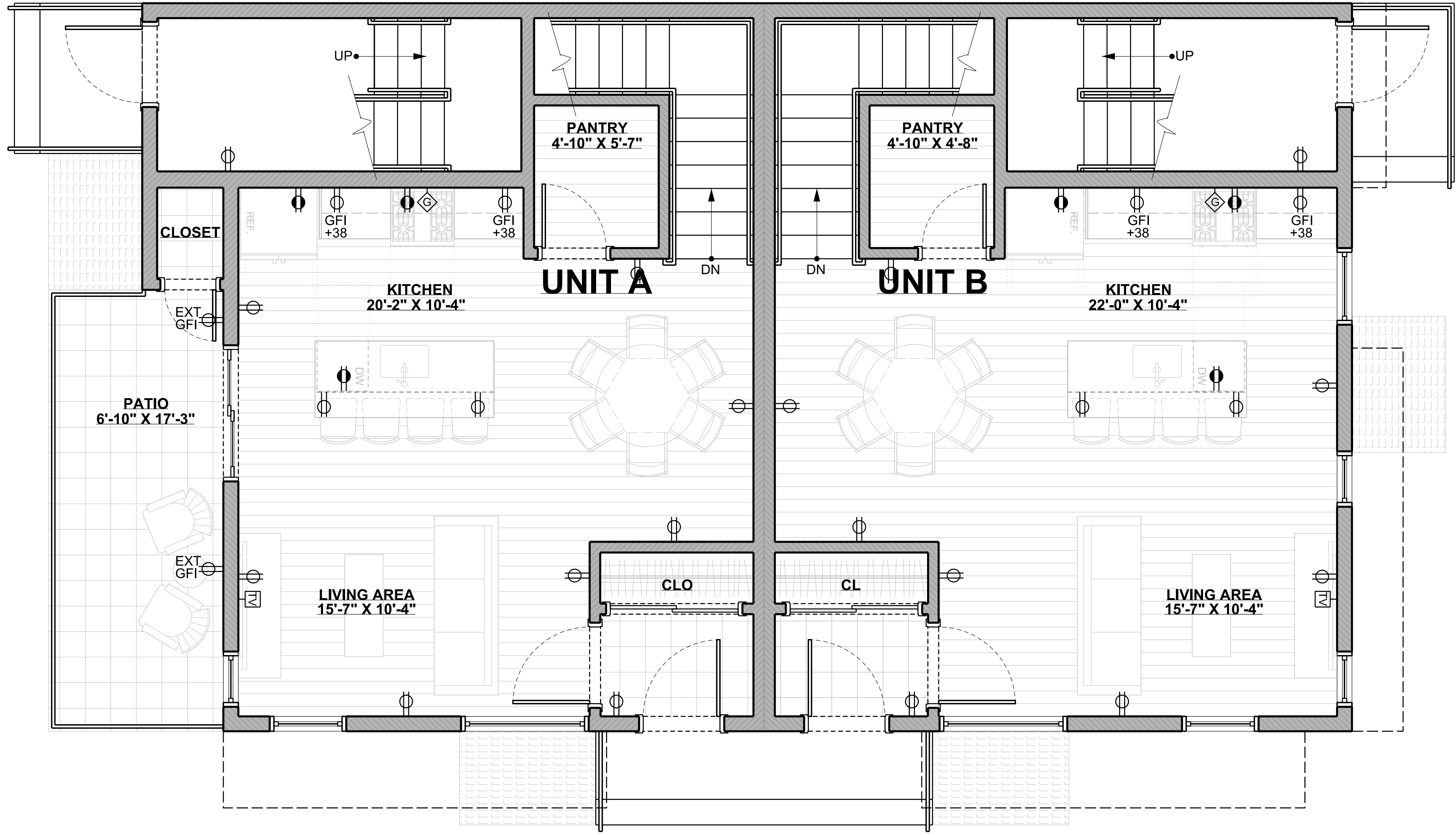
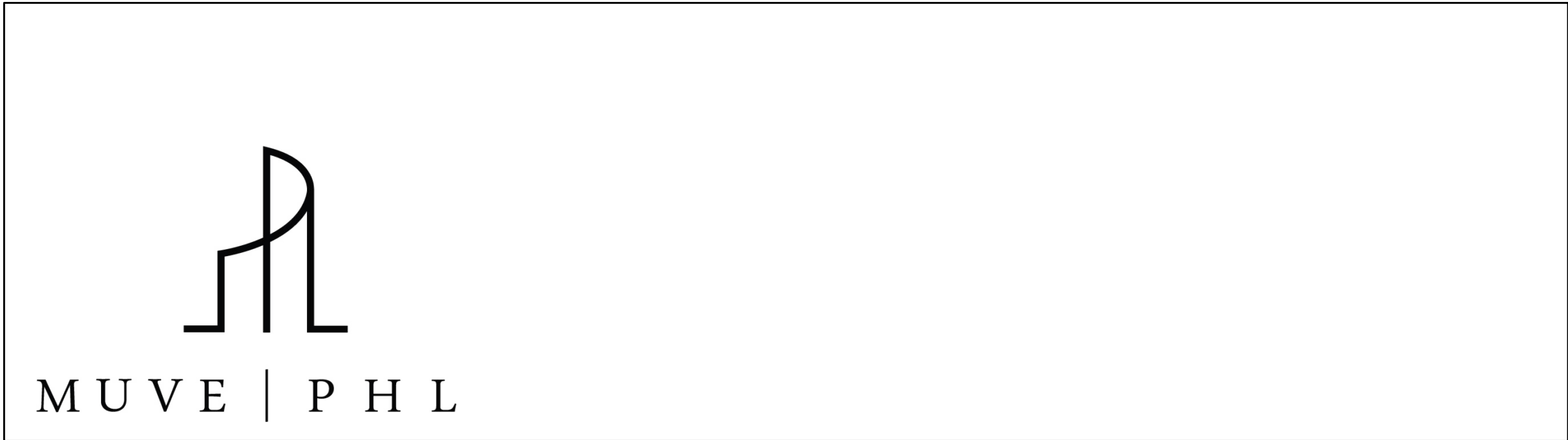
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PROPOSED  
BASEMENT  
P&D PLAN

SCALE: AS NOTED

**A-130**





1/A-131 PROPOSED FIRST FLOOR P&D PLAN  
3/8" = 1'-0"

- POWER + DATA LEGEND:**
- DUPLEX OUTLET (+18" A.F.F. U.N.O.)
  - GFI GROUND FAULT INTERRUPTER OUTLET
  - 220V 220 VOLT OUTLET (ELECTRICAL SUBCONTRACTOR TO VERIFY REQUIRED LOCATIONS FOR 240V OUTLETS)
  - DEDICATED OUTLET
  - RECESSED MEDIA PLATE LOCATION: ELECTRICAL SUBCONTRACTOR TO PROVIDE DUPLEX AND A/V HOOKUP: VERIFY MOUNTING HEIGHT WITH OWNER PRIOR TO INSTALLATION
  - TELE/DATA
  - GAS HOOKUP LOCATION

**GENERAL NOTES:**

- ELECTRICAL CONTRACTOR TO COORDINATE FINAL LOCATION OF POWER AND DATA CONNECTIONS WITH OWNERS PRIOR TO INSTALLATION
- G.C. TO PROVIDE BLOCKING FOR WALL MOUNTED TV'S AND OTHER AREAS WHERE REQUIRED
- G.C. TO COORDINATE WITH ALL ELECTRICAL APPLIANCES + EQUIPMENT PRIOR TO INSTALLATION

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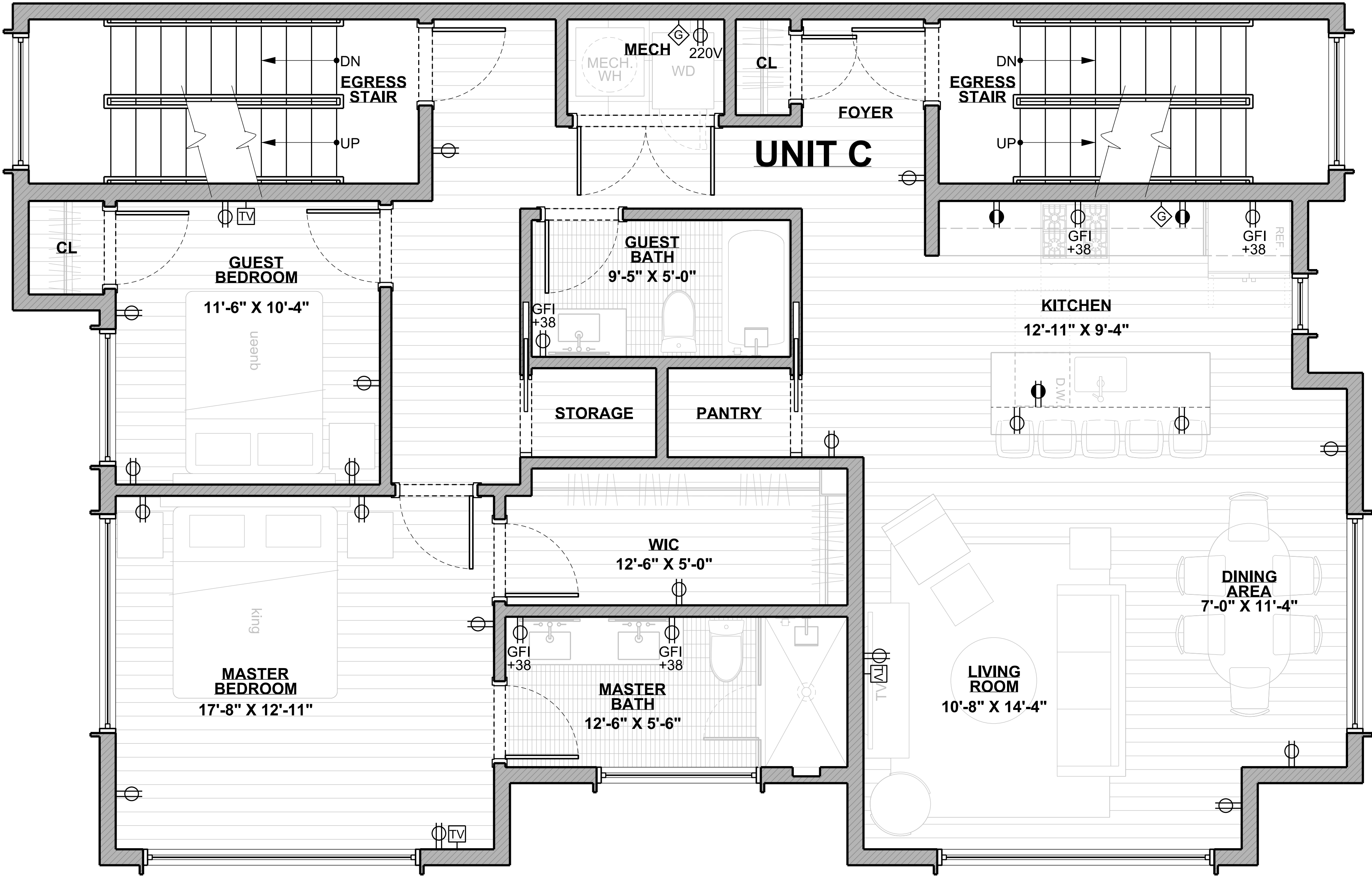
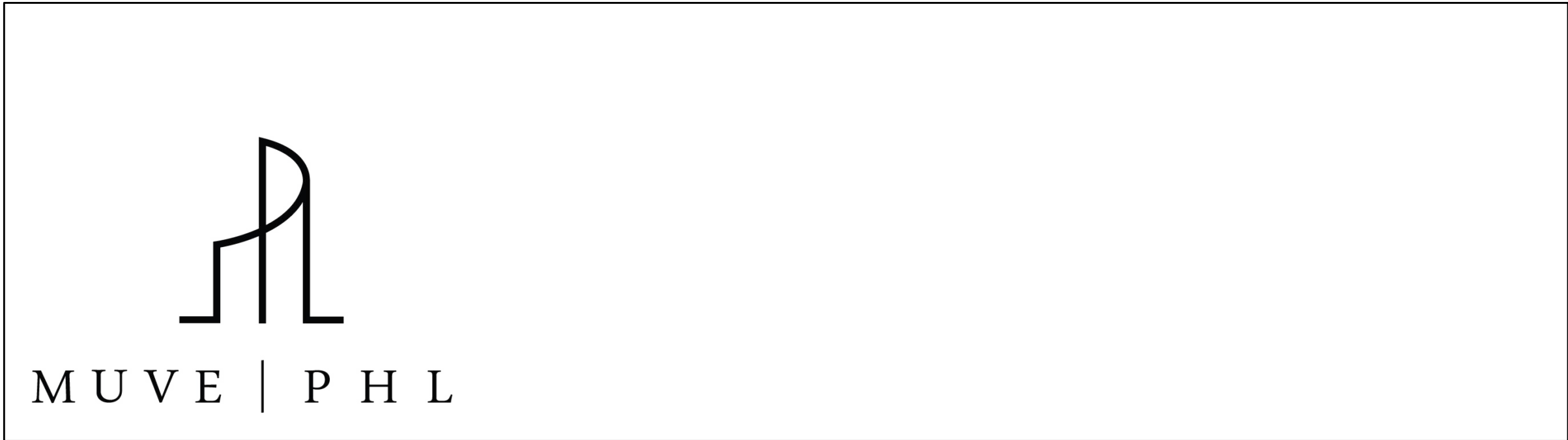
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PROPOSED  
FIRST  
FLOOR  
P&D PLAN

SCALE: AS NOTED

A-131



1/A-132 PROPOSED SECOND FLOOR P&D PLAN  
3/8" = 1'-0"

- POWER + DATA LEGEND:**
- DUPLEX OUTLET (+18" A.F.F. U.N.O.)
  - GFI
  - 220V  
220 VOLT OUTLET (ELECTRICAL SUBCONTRACTOR TO VERIFY REQUIRED LOCATIONS FOR 240V OUTLETS)
  - DEDICATED OUTLET
  - RECESSED MEDIA PLATE LOCATION: ELECTRICAL SUBCONTRACTOR TO PROVIDE DUPLEX AND A/V HOOKUP: VERIFY MOUNTING HEIGHT WITH OWNER PRIOR TO INSTALLATION
  - TELE/DATA
  - GAS HOOKUP LOCATION

**GENERAL NOTES:**

- ELECTRICAL CONTRACTOR TO COORDINATE FINAL LOCATION OF POWER AND DATA CONNECTIONS WITH OWNERS PRIOR TO INSTALLATION
- G.C. TO PROVIDE BLOCKING FOR WALL MOUNTED TV'S AND OTHER AREAS WHERE REQUIRED
- G.C. TO COORDINATE WITH ALL ELECTRICAL APPLIANCES + EQUIPMENT PRIOR TO INSTALLATION

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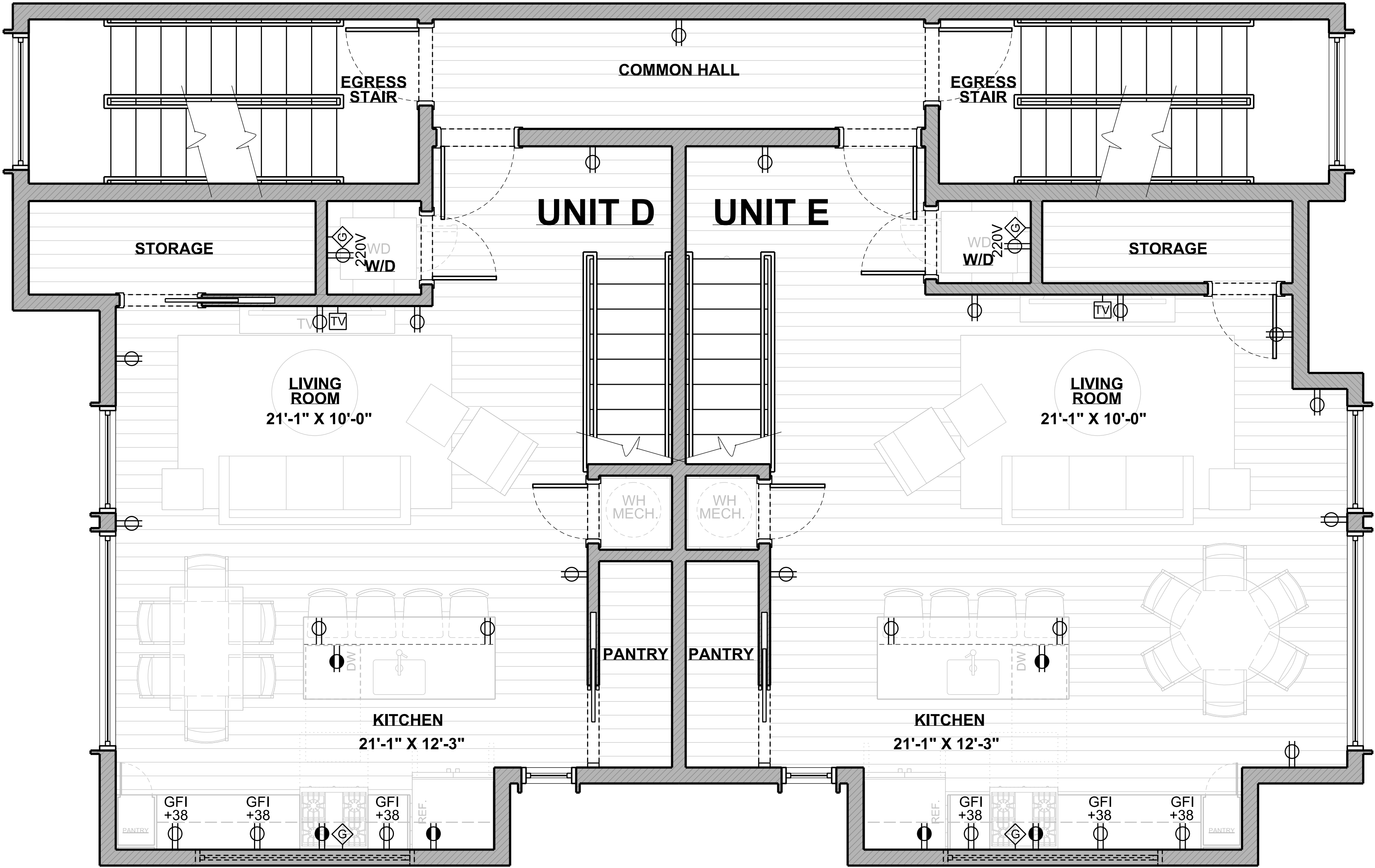
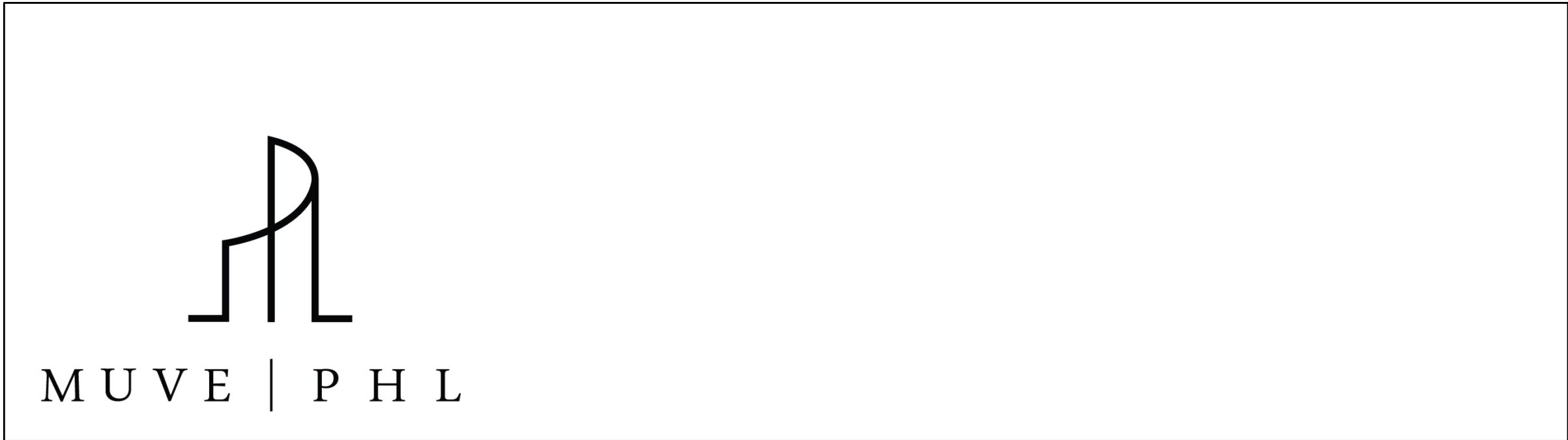
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PROPOSED  
SECOND  
FLOOR P&D  
PLAN

SCALE: AS NOTED

A-132



1/A-133 PROPOSED THIRD FLOOR P&D PLAN  
3/8" = 1'-0"

- POWER + DATA LEGEND:**
- DUPLEX OUTLET (+18" A.F.F. U.N.O.)
  - GFI
  - 220V  
220 VOLT OUTLET (ELECTRICAL SUBCONTRACTOR TO VERIFY REQUIRED LOCATIONS FOR 240V OUTLETS)
  - DEDICATED OUTLET
  - RECESSED MEDIA PLATE LOCATION: ELECTRICAL SUBCONTRACTOR TO PROVIDE DUPLEX AND A/V HOOKUP: VERIFY MOUNTING HEIGHT WITH OWNER PRIOR TO INSTALLATION
  - TELE/DATA
  - GAS HOOKUP LOCATION

**GENERAL NOTES:**

- ELECTRICAL CONTRACTOR TO COORDINATE FINAL LOCATION OF POWER AND DATA CONNECTIONS WITH OWNERS PRIOR TO INSTALLATION
- G.C. TO PROVIDE BLOCKING FOR WALL MOUNTED TV'S AND OTHER AREAS WHERE REQUIRED
- G.C. TO COORDINATE WITH ALL ELECTRICAL APPLIANCES + EQUIPMENT PRIOR TO INSTALLATION

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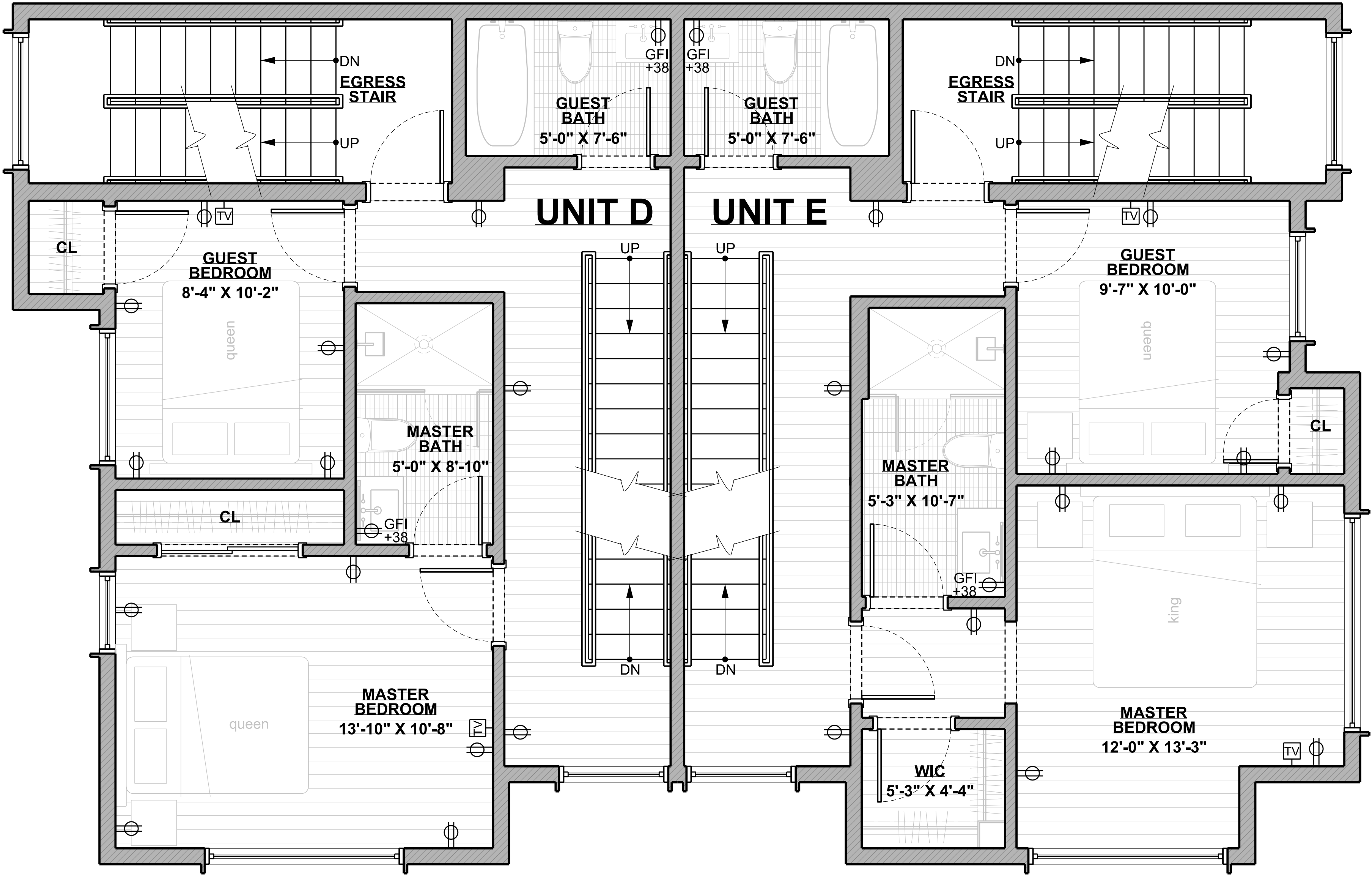
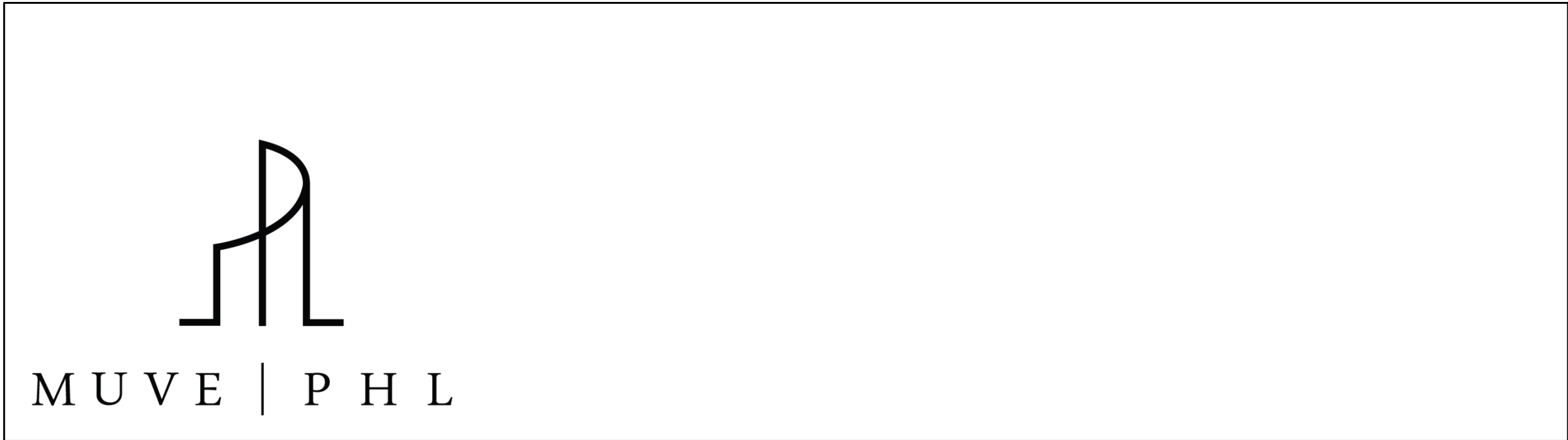
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PROPOSED  
THIRD  
FLOOR P&D  
PLAN

SCALE: AS NOTED

A-133





1/A-134 PROPOSED FOURTH FLOOR P&D PLAN  
3/8" = 1'-0"

- POWER + DATA LEGEND:**
- ⌀ DUPLEX OUTLET (+18" A.F.F. U.N.O.)
  - ⌀ GFI GROUND FAULT INTERRUPTER OUTLET
  - ⌀ 220V 220 VOLT OUTLET (ELECTRICAL SUBCONTRACTOR TO VERIFY REQUIRED LOCATIONS FOR 240V OUTLETS)
  - ⌀ DEDICATED OUTLET
  - TV RECESSED MEDIA PLATE LOCATION: ELECTRICAL SUBCONTRACTOR TO PROVIDE DUPLEX AND A/V HOOKUP; VERIFY MOUNTING HEIGHT WITH OWNER PRIOR TO INSTALLATION
  - TV TELE/DATA
  - ⬢ GAS HOOKUP LOCATION

**GENERAL NOTES:**

1. ELECTRICAL CONTRACTOR TO COORDINATE FINAL LOCATION OF POWER AND DATA CONNECTIONS WITH OWNERS PRIOR TO INSTALLATION
2. G.C. TO PROVIDE BLOCKING FOR WALL MOUNTED TV'S AND OTHER AREAS WHERE REQUIRED
3. G.C. TO COORDINATE WITH ALL ELECTRICAL APPLIANCES + EQUIPMENT PRIOR TO INSTALLATION



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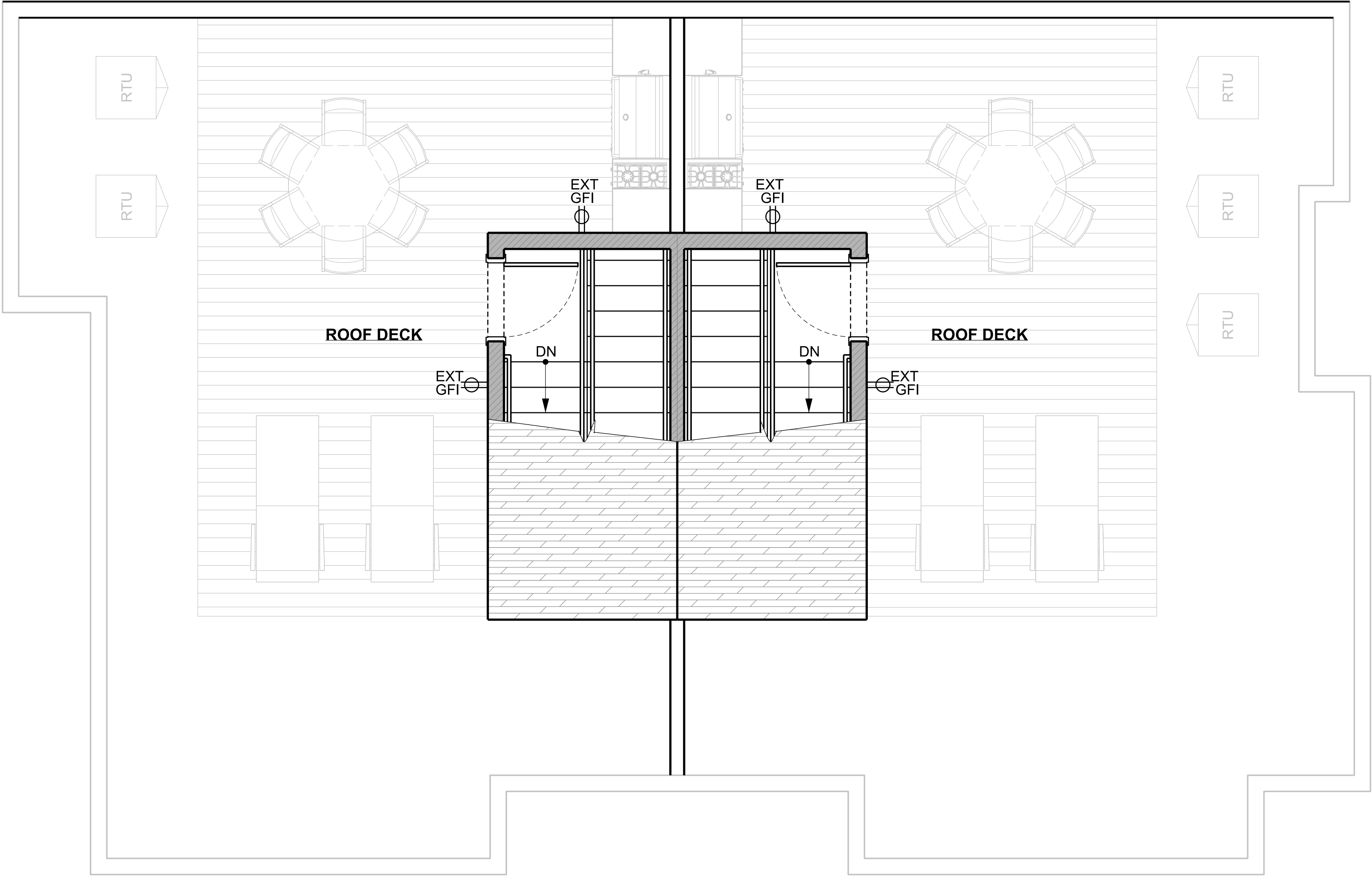
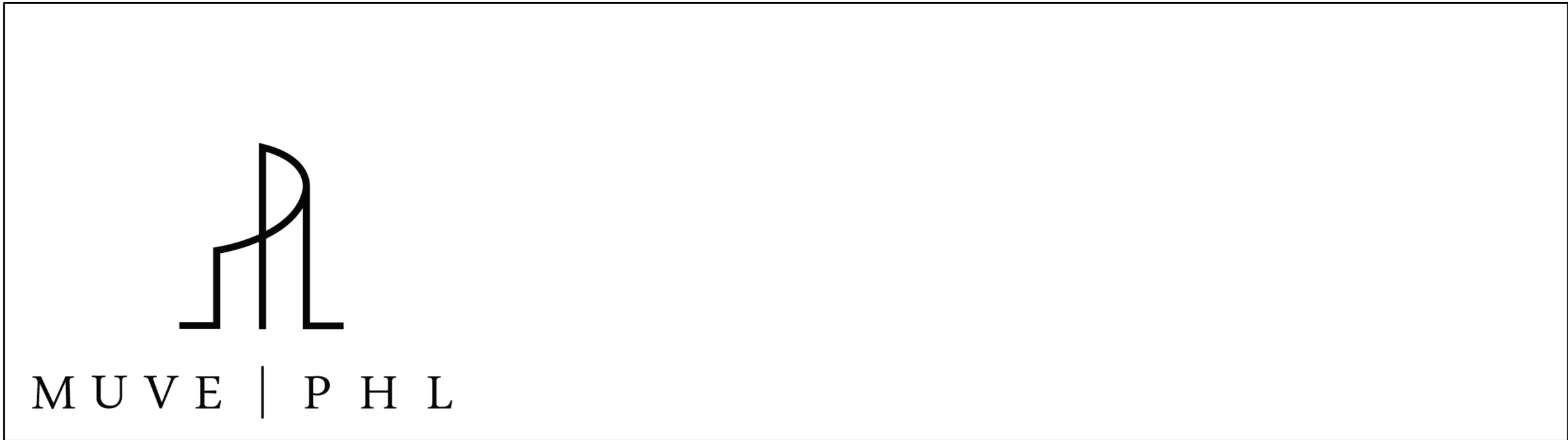
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PROPOSED  
FOURTH  
FLOOR P&D  
PLAN

SCALE: AS NOTED

A-134



1/A-135 PROPOSED ROOF DECK P&D PLAN  
3/8" = 1'-0"

- POWER + DATA LEGEND:**
- DUPLEX OUTLET (+18" A.F.F. U.N.O.)
  - GROUND FAULT INTERRUPTER OUTLET
  - 220V OUTLET (ELECTRICAL SUBCONTRACTOR TO VERIFY REQUIRED LOCATIONS FOR 240V OUTLETS)
  - DEDICATED OUTLET
  - RECESSED MEDIA PLATE LOCATION: ELECTRICAL SUBCONTRACTOR TO PROVIDE DUPLEX AND A/V HOOKUP: VERIFY MOUNTING HEIGHT WITH OWNER PRIOR TO INSTALLATION
  - TELE/DATA
  - GAS HOOKUP LOCATION

**GENERAL NOTES:**

- ELECTRICAL CONTRACTOR TO COORDINATE FINAL LOCATION OF POWER AND DATA CONNECTIONS WITH OWNERS PRIOR TO INSTALLATION
- G.C. TO PROVIDE BLOCKING FOR WALL MOUNTED TV'S AND OTHER AREAS WHERE REQUIRED
- G.C. TO COORDINATE WITH ALL ELECTRICAL APPLIANCES + EQUIPMENT PRIOR TO INSTALLATION

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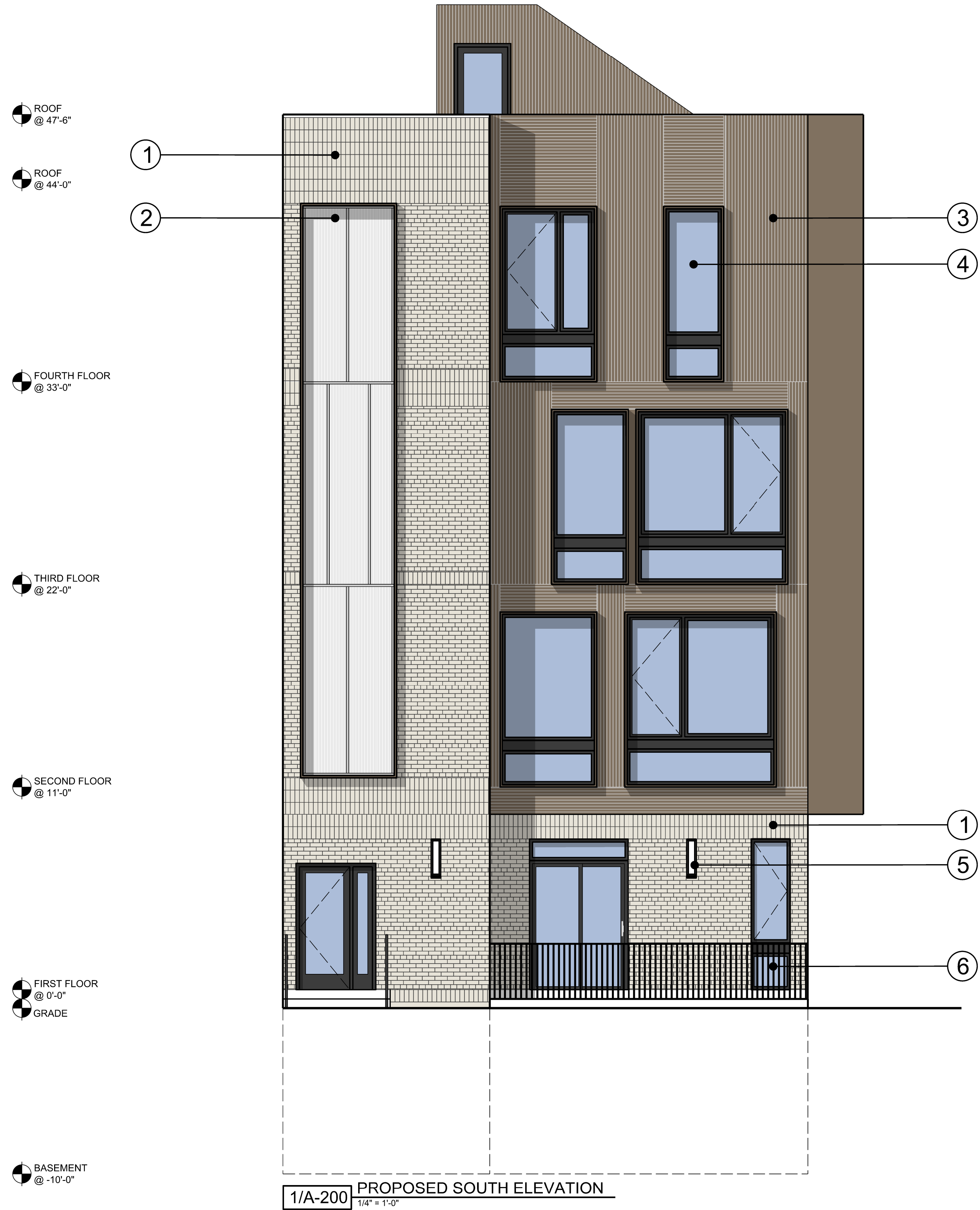
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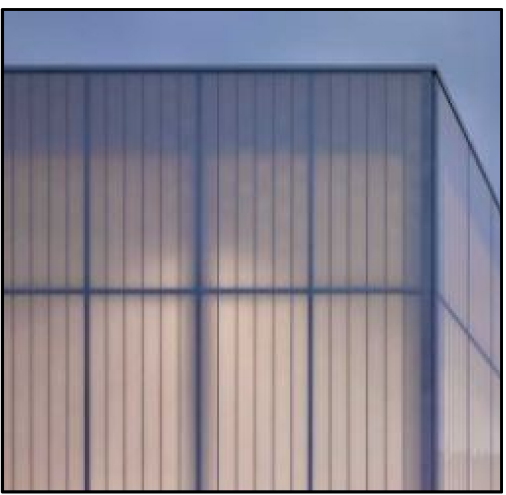
PROPOSED  
ROOF DECK  
P&D PLAN

SCALE: AS NOTED

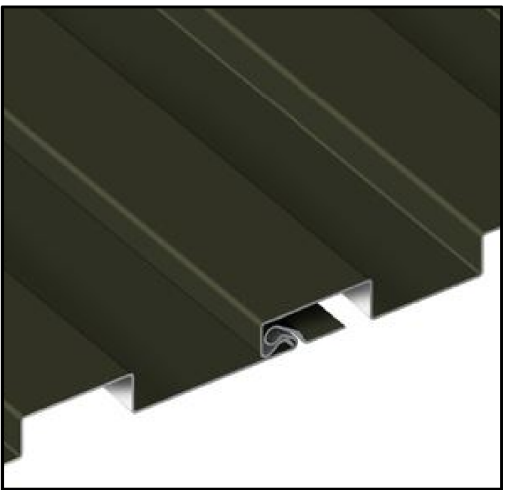
A-135



1 BRICK:  
ANTIQUE WHITE  
SIOUX CITY BRICK



2 TRANSLUCENT  
PANELS:  
POLYGAL WALL  
PANELS  
COLOR: ICE



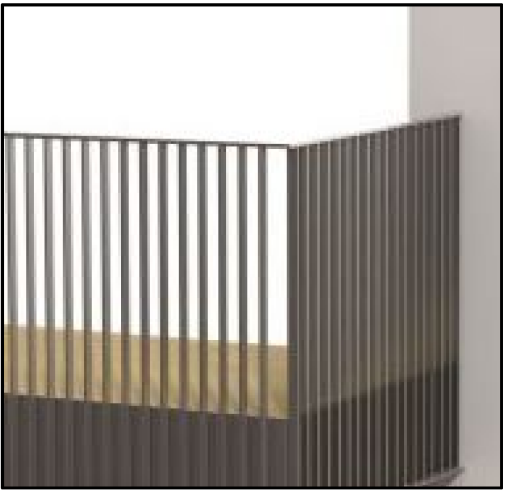
3 METAL WALL PANELS:  
ATAS - METAFOR  
PANELS  
COLOR: MEDIUM  
BRONZE



4 WINDOWS:  
ANDERSEN  
COLOR: BLACK



5 WALL SCONCE:  
BEGA - LINEAR WALL  
LUMINAR  
COLOR: BLACK



6 METAL RAILING:  
FLAT BAR STOCK  
PAINTED STEEL  
COLOR: BLACK





① **BRICK:**  
**ANTIQUE WHITE**  
**SIOUX CITY BRICK**

② **TRANSLUCENT  
PANELS:  
POLYGAL WALL  
PANELS  
COLOR: ICE**

③ **METAL WALL PANELS:  
ATAS - METAFOR  
PANELS  
COLOR: MEDIUM  
BRONZE**

④ **WINDOWS:  
ANDERSEN  
COLOR: BLACK**

5 **WALL SCONE:  
BEGA - LINEAR WALL  
LUMINAR  
COLOR: BLACK**

⑥ METAL RAILING:  
FLAT BAR STOCK  
PAINTED STEEL  
COLOR: BLACK

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**M**ARCHITECTS LLC  
**MORRISSEY** DESIGN LLC  
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O. RA 405135

2219-21 EMERALD ST  
2219-21 EMERALD STREET | PHILDELPHIA, PA 19125

1350L:	SCHEMATIC DESIGN SET	DATE:	08.05.20
	SCHEMATIC DESIGN REVISIONS		08.06.20

PROPOSED  
EXTERIOR  
ELEVATIONS

SALE: AS NOTED
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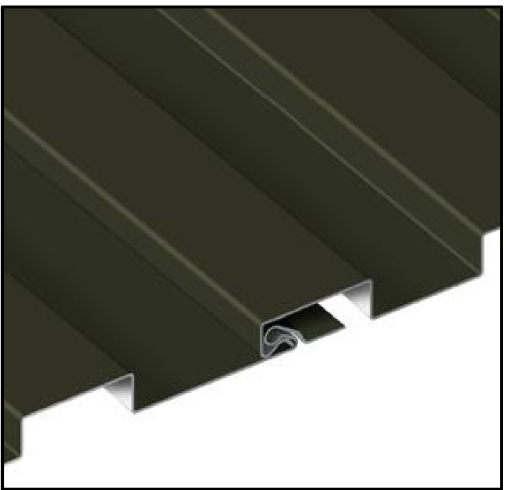
A-201



① **BRICK:**  
**ANTIQUE WHITE**  
**SIoux CITY BRICK**



② **TRANSLUCENT**  
**PANELS:**  
**POLYGAL WALL**  
**PANELS**  
**COLOR: ICE**



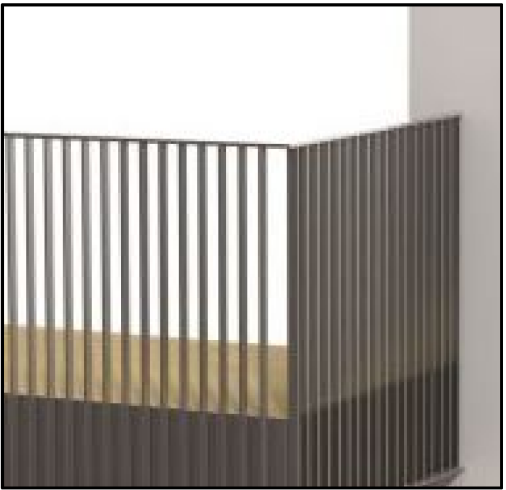
③ **METAL WALL PANELS:**  
**ATAS - METAFOR**  
**PANELS**  
**COLOR: MEDIUM**  
**BRONZE**



④ **WINDOWS:**  
**ANDERSEN**  
**COLOR: BLACK**



⑤ **WALL SCONCE:**  
**BEGA - LINEAR WALL**  
**LUMINAR**  
**COLOR: BLACK**



⑥ **METAL RAILING:**  
**FLAT BAR STOCK**  
**PAINTED STEEL**  
**COLOR: BLACK**



ROOF  
@ 47'-6"

ROOF  
@ 44'-0"

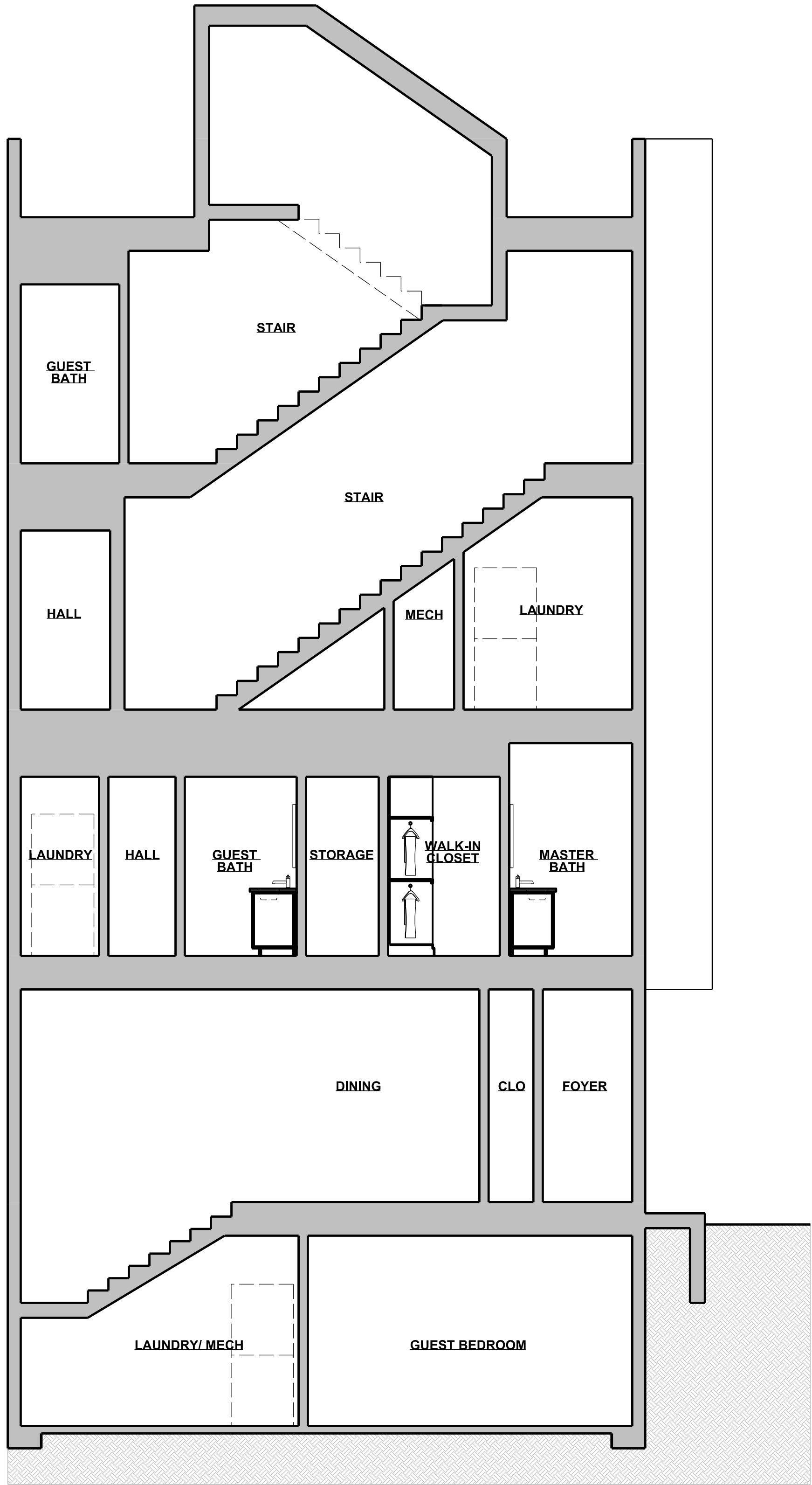
FOURTH FLOOR  
@ 33'-0"

THIRD FLOOR  
@ 22'-0"

SECOND FLOOR  
@ 11'-0"

FIRST FLOOR  
@ 0'-0"  
GRADE

BASEMENT  
@ -10'-0"



1/A-300 PROPOSED EAST WEST SECTION  
1/4" = 1'-0"

ROOF  
@ 47'-6"

ROOF  
@ 44'-0"

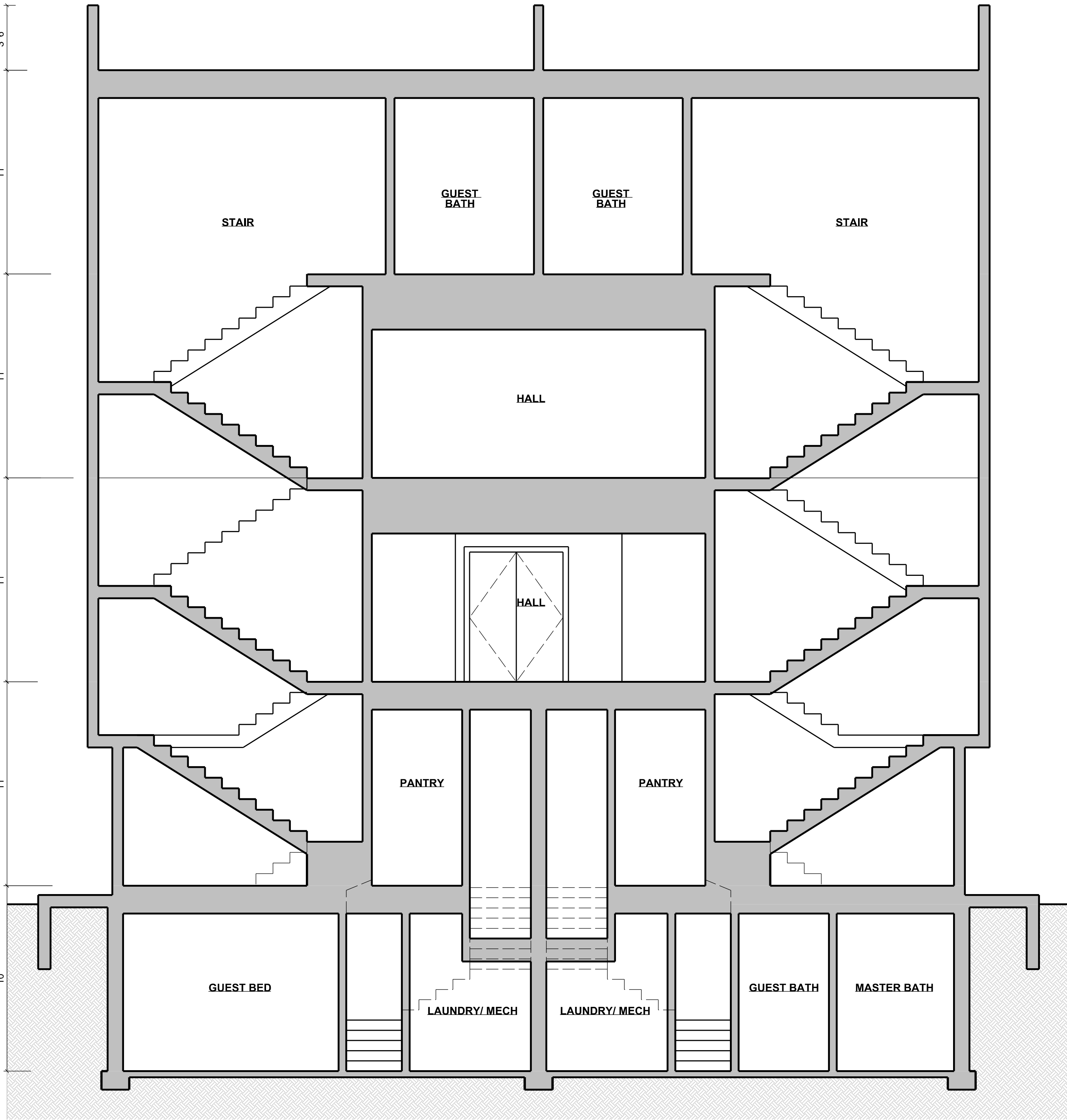
FOURTH FLOOR  
@ 33'-0"

THIRD FLOOR  
@ 22'-0"

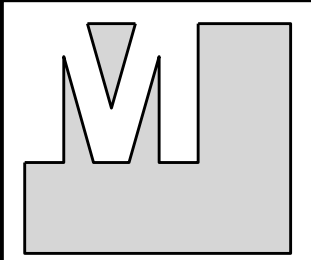
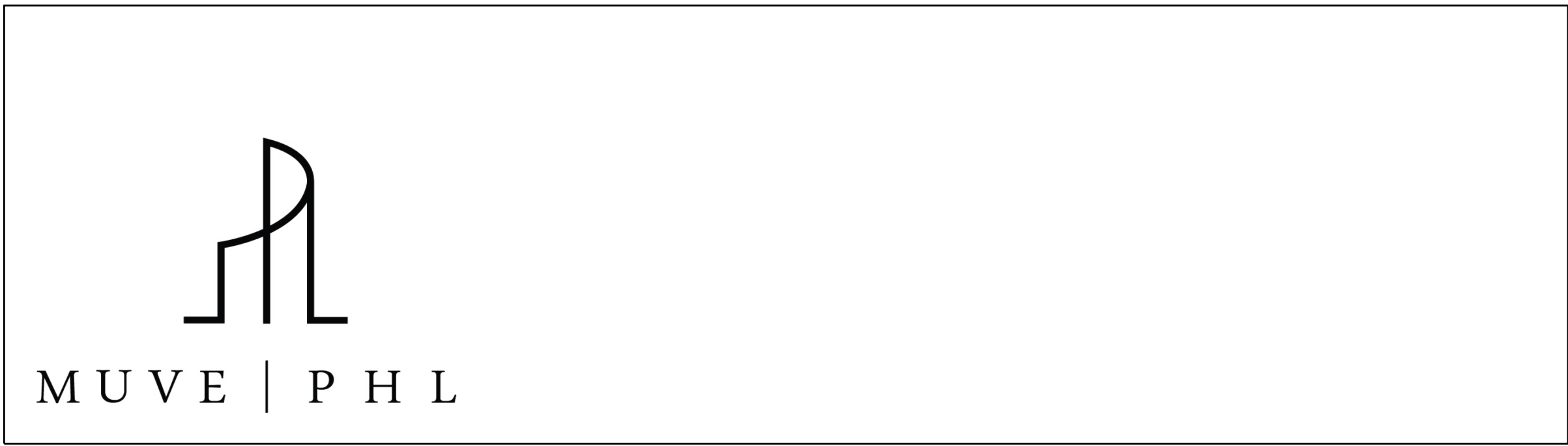
SECOND FLOOR  
@ 11'-0"

FIRST FLOOR  
@ 0'-0"  
GRADE

BASEMENT  
@ -10'-0"



2/A-300 PROPOSED NORTH SOUTH SECTION  
1/4" = 1'-0"



MARCHITECTS LLC  
MORRISSEY DESIGN LLC  
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2219-21 EMERALD ST  
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PROPOSED  
BUILDING  
SECTION

SCALE: AS NOTED

A-300





1/A-700



# UNIT B

**M**ARCHITECTS LLC  
PA LICENSE # 4X011526

**MORRISSEY** DESIGN LLC  
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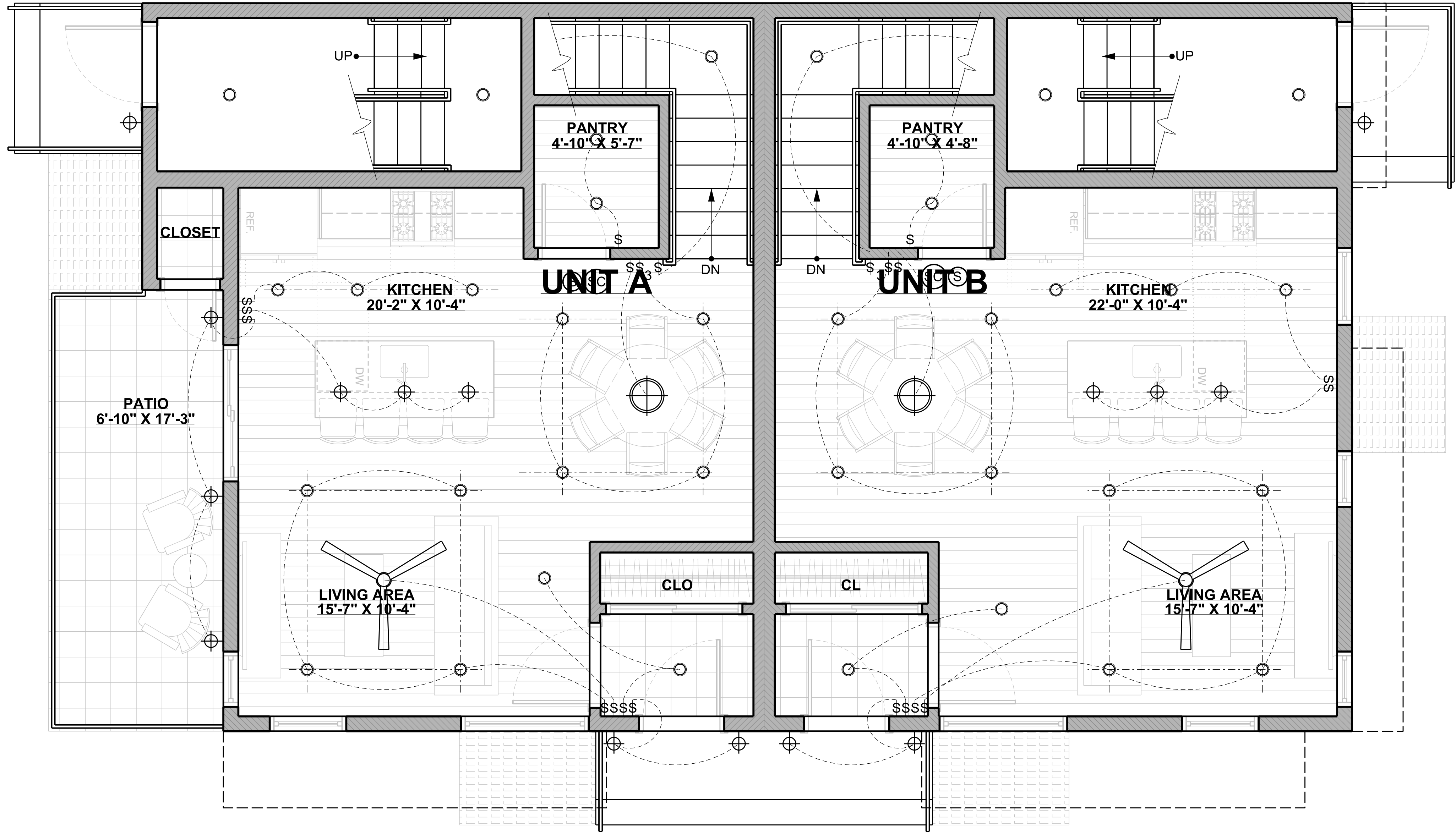
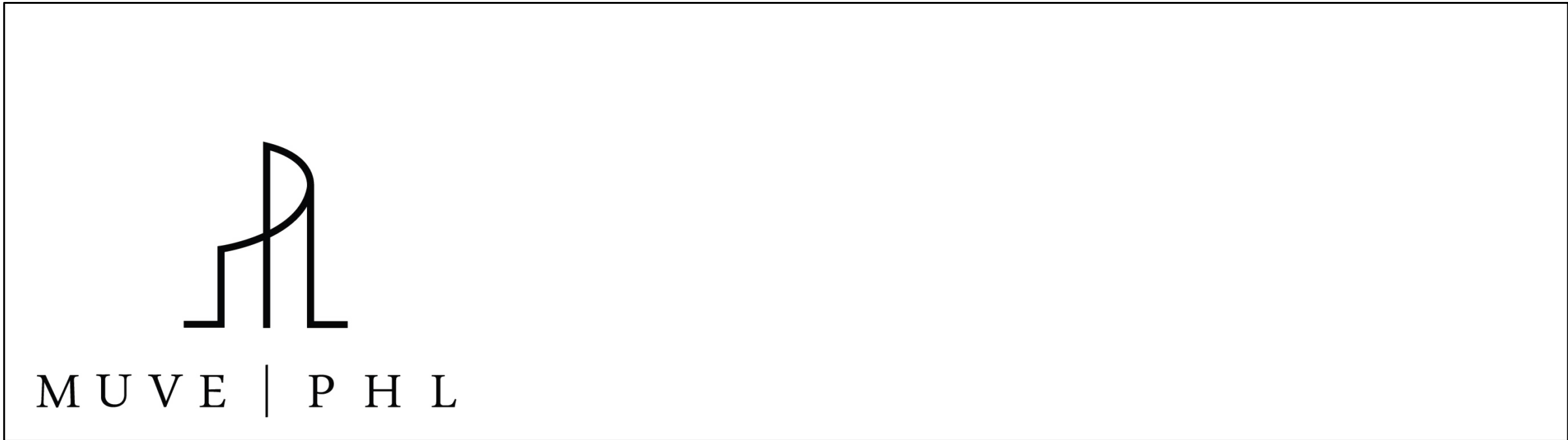
2219-21 EMERALD ST  
2219-21 EMERALD STREET | PHILDELPHIA, PA 19125

ISSUE:	DATE:
SCHEMATIC DESIGN SET	08.05.20
SCHEMATIC DESIGN REVISIONS	08.06.20

PROPOSED  
BASEMENT  
RCP PLAN

SCALE: AS NOTED

# A-700



1/A-701 PROPOSED FIRST FLOOR RCP PLAN  
3/8" = 1'-0"

RCP LEGEND:	
	SWITCH
	3-WAY SWITCH
	EXHAUST FAN TO VENT AIR TO EXTERIOR WITHOUT RECIRCULATION TO ANY SPACE PER PHILADELPHIA PROPERTY MAINTENANCE CODE PM-403.2
	CEILING HEIGHT ABOVE FINISH FLOOR
	RECESSED 5" DOWNLIGHT
	RECESSED 5" DOWNLIGHT: WET LOCATION
	UNDER CABINET LIGHTS
	WALL SCONCE
	EXTERIOR WALL SCONCE
	CEILING FAN
	SMOKE DETECTOR
	SMOKE AND CARBON MONOXIDE DETECTOR LOCATION

GENERAL NOTES:	
1. ALL CEILINGS PAINTED WHITE, U.O.N.	
2. ALL LIGHTING LEVELS SHALL COMPLY WITH THE IECC TABLE 505.5.2 REQUIREMENTS	
3. LIGHT SWITCHING QUANTITY AND LOCATION TO BE VERIFIED WITH TENANT PRIOR TO INSTALLATION AND TO COMPLY WITH SECTION 505 OF THE IECC	
4. WHEN MORE THAN ONE SMOKE ALARM IS INSTALLED, THEY SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THAT INDIVIDUAL UNIT	

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2219-21 EMERALD ST

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DATE:	08.05.20
DATE:	08.06.20

ISSUE:	SCHEMATIC DESIGN SET
ISSUE:	SCHEMATIC DESIGN REVISIONS

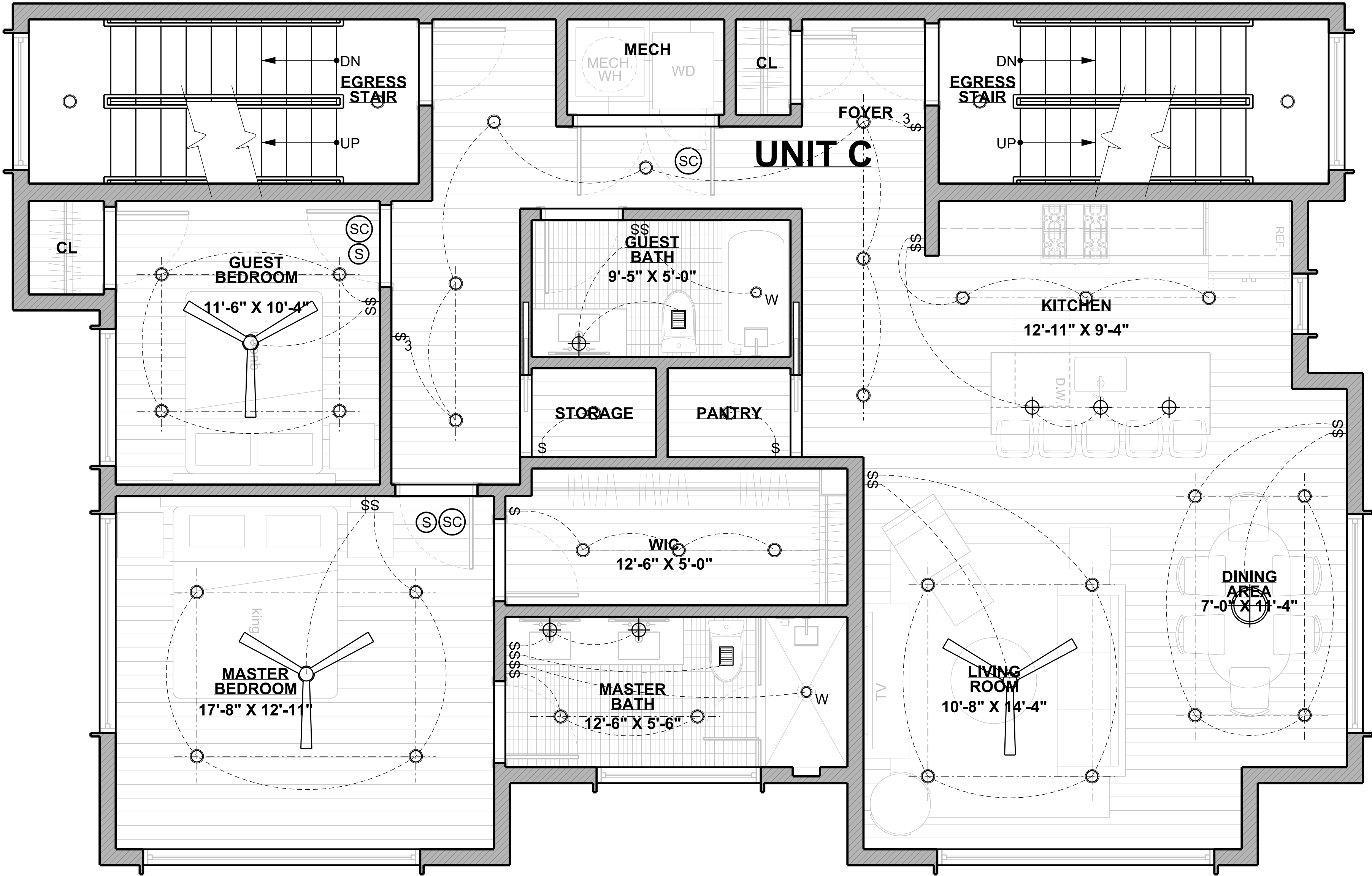
PROPOSED FIRST FLOOR RCP PLAN

SCALE: AS NOTED










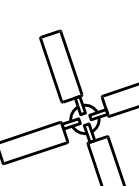


A-701

NO. RA 405135



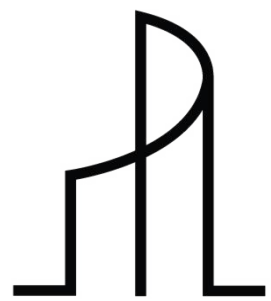


1/A-702 PROPOSED SECOND FLOOR RCP PLAN  
3/8" = 1'-0"

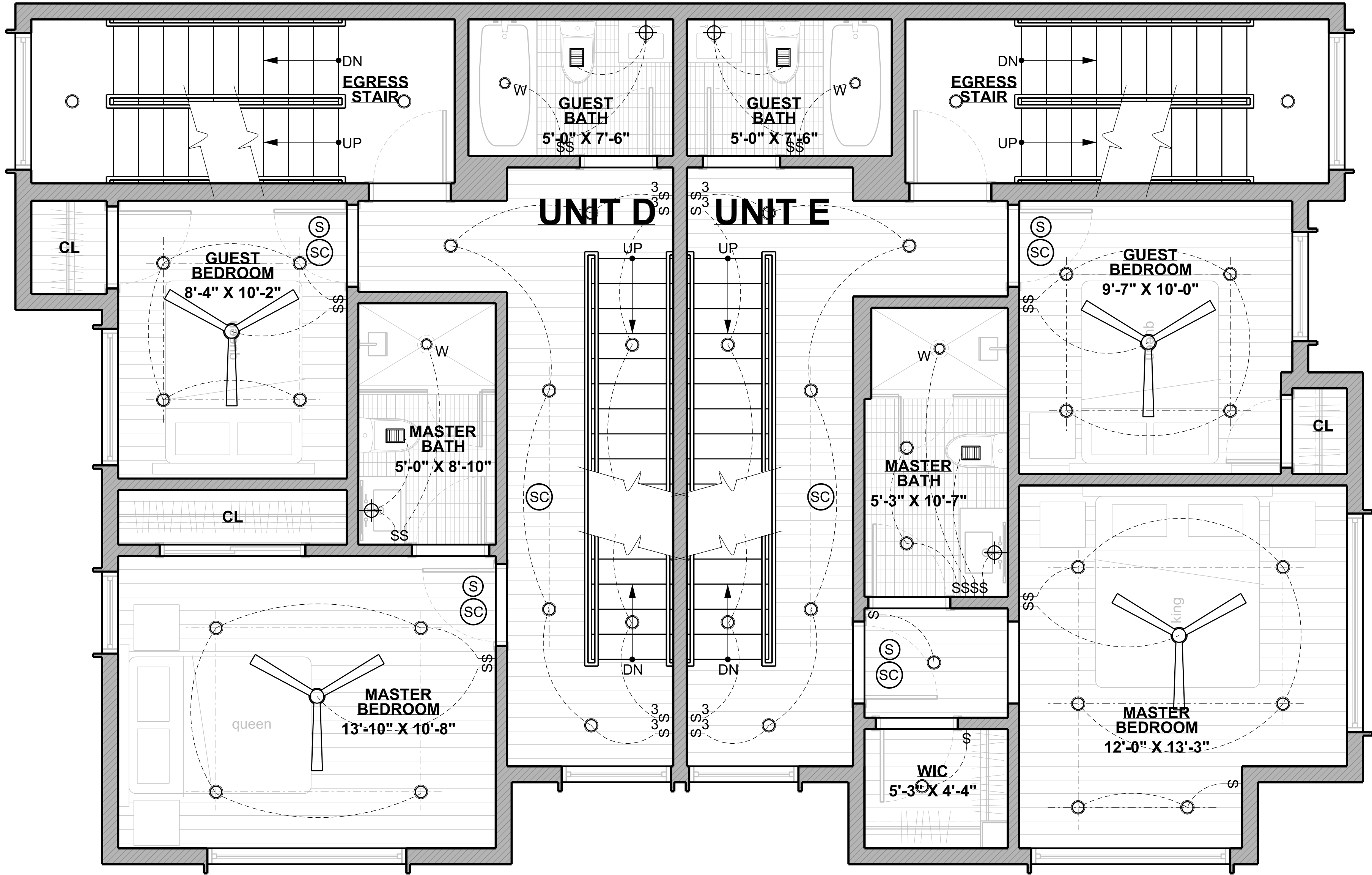
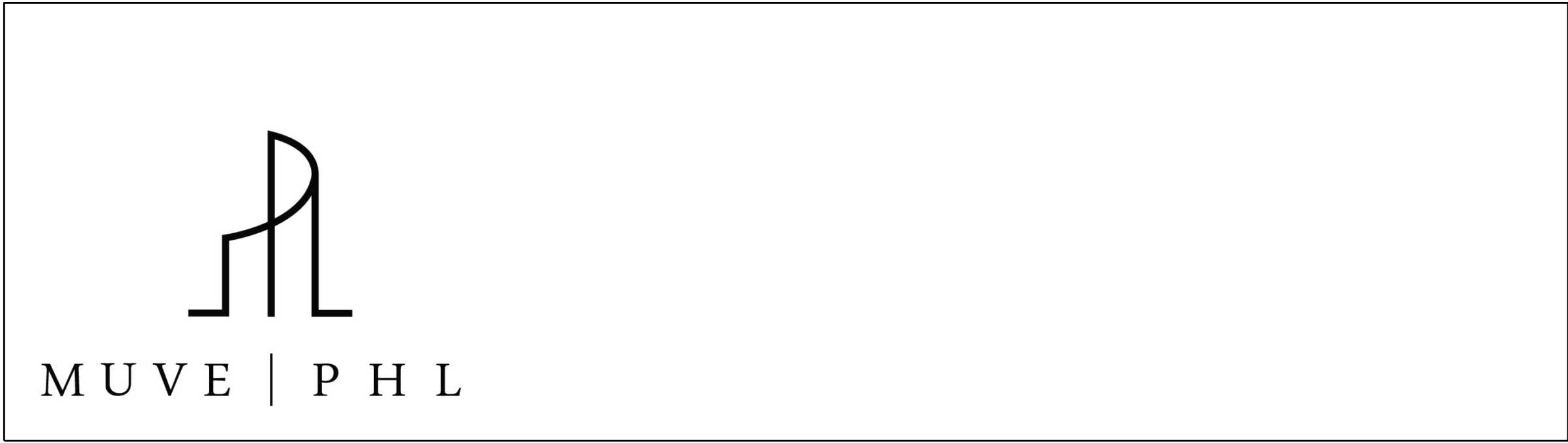
RCP LEGEND:	
	SWITCH
	3-WAY SWITCH
	EXHAUST FAN TO VENT AIR TO EXTERIOR WITHOUT RECIRCULATION TO ANY SPACE PER PHILADELPHIA PROPERTY MAINTENANCE CODE PM-403.2
	CEILING HEIGHT ABOVE FINISH FLOOR
	RECESSED 5" DOWNLIGHT
	RECESSED 5" DOWNLIGHT: WET LOCATION
	UNDER CABINET LIGHTS
	WALL SCONCE
	EXTERIOR WALL SCONCE
	CEILING FAN
	SMOKE DETECTOR
	SMOKE AND CARBON MONOXIDE DETECTOR LOCATION

GENERAL NOTES:	
1. ALL CEILINGS PAINTED WHITE, U.O.N.	
2. ALL LIGHTING LEVELS SHALL COMPLY WITH THE IECC TABLE 505.5.2 REQUIREMENTS	
3. LIGHT SWITCHING QUANTITY AND LOCATION TO BE VERIFIED WITH TENANT PRIOR TO INSTALLATION AND TO COMPLY WITH SECTION 505 OF THE IECC	
4. WHEN MORE THAN ONE SMOKE ALARM IS INSTALLED, THEY SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THAT INDIVIDUAL UNIT	





A-703



1/A-704 PROPOSED FOURTH FLOOR RCP PLAN  
3/8" = 1'-0"

RCP LEGEND:	
⚡	SWITCH
⚡/3	3-WAY SWITCH
🌀	EXHAUST FAN TO VENT AIR TO EXTERIOR WITHOUT RECIRCULATION TO ANY SPACE PER PHILADELPHIA PROPERTY MAINTENANCE CODE PM-403.2
X-X' AFF	CEILING HEIGHT ABOVE FINISH FLOOR
○	RECESSED 5" DOWNLIGHT
○ <sub>W</sub>	RECESSED 5" DOWNLIGHT: WET LOCATION
—	UNDER CABINET LIGHTS
⊕	WALL SCONCE
⊕	EXTERIOR WALL SCONCE
🌀	CEILING FAN
Ⓢ	SMOKE DETECTOR
ⓈⓈ	SMOKE AND CARBON MONOXIDE DETECTOR LOCATION

GENERAL NOTES:	
1. ALL CEILINGS PAINTED WHITE, U.O.N.	
2. ALL LIGHTING LEVELS SHALL COMPLY WITH THE IECC TABLE 505.5.2 REQUIREMENTS	
3. LIGHT SWITCHING QUANTITY AND LOCATION TO BE VERIFIED WITH TENANT PRIOR TO INSTALLATION AND TO COMPLY WITH SECTION 505 OF THE IECC	
4. WHEN MORE THAN ONE SMOKE ALARM IS INSTALLED, THEY SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THAT INDIVIDUAL UNIT	

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DATE:  
08.05.20  
08.06.20

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PROPOSED  
FOURTH  
FLOOR RCP  
PLAN

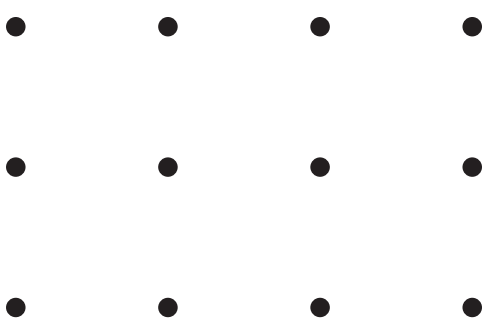
SCALE: AS NOTED

A-704



<div>RCP LEGEND:</div> <div><div><div><div>\$</div><div>SWITCH</div></div><div><div>\$<sup>3</sup></div><div>3-WAY SWITCH</div></div><div><div><div><div></div></div></div><div>EXHAUST FAN TO VENT AIR TO EXTERIOR WITHOUT RECIRCULATION TO ANY SPACE PER PHILADELPHIA PROPERTY MAINTENANCE CODE PM-403.2</div></div><div><div>X-X-AFF</div><div>CEILING HEIGHT ABOVE FINISH FLOOR</div></div><div><div>O</div><div>RECESSED 5" DOWNLIGHT</div></div><div><div>O<sub>W</sub></div><div>RECESSED 5" DOWNLIGHT; WET LOCATION</div></div><div><div></div><div>UNDER CABINET LIGHTS</div></div><div><div>⊕</div><div>WALL SCONCE</div></div><div><div>▽</div><div>EXTERIOR WALL SCONCE</div></div><div><div><div><div></div></div></div><div>CEILING FAN</div></div><div><div>S</div><div>SMOKE DETECTOR</div></div><div><div>SC</div><div>SMOKE AND CARBON MONOXIDE DETECTOR LOCATION</div></div></div></div>		<div><div><div><div></div><div></div><div></div></div><div></div></div><div><div>PA LICENSE # AX011528</div><div>MARCHITECTS LLC</div><div>MORRISSEY DESIGN LLC</div><div>4599 MANN STREET   PHILADELPHIA PA 19127   215.948.3751   www.morrissey-design.com</div></div></div>	
		NO. RA 405135	
		2219-21 EMERALD ST  2219-21 EMERALD STREET   PHILDELPHIA, PA 19125	
		<div>DATE: 08.05.20 08.06.20</div> <div>ISSUE: SCHEMATIC DESIGN SET SCHEMATIC DESIGN REVISIONS</div>	
<div>GENERAL NOTES:</div> <div>1. ALL CEILINGS PAINTED WHITE, U.O.N.</div> <div>2. ALL LIGHTING LEVELS SHALL COMPLY WITH THE IECC TABLE 505.5.2 REQUIREMENTS</div> <div>3. LIGHT SWITCHING QUANTITY AND LOCATION TO BE VERIFIED WITH TENANT PRIOR TO INSTALLATION AND TO COMPLY WITH SECTION 505 OF THE IECC</div> <div>4. WHEN MORE THAN ONE SMOKE ALARM IS INSTALLED, THEY SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THAT INDIVIDUAL UNIT</div>		<div>PROPOSED ROOF DECK RCP PLAN</div>	
		SCALE: AS NOTED	
		A-705	





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